

CENTRADA

PLANNED AREA DEVELOPMENT



Formal Application Date: May 22, 2008

Resubmittal: September 18, 2008

Planning Commission Hearing Date: October 23, 2008

City Council Final PAD Date: November 25, 2008

Application Number:

Zoning- ZON08-13

LVA urban design studio
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CMX

Snell & Wilmer

Request for Adoption

Of A

Planned Area Development (PAD)

For

Centrada

(Approximately 75.12 gross acres located at the southwest corner of 91st
Avenue and Bethany Home Road)
9191 West Bethany Home Road

Glendale, Arizona

Case No: ZON08-13
Formal Application Date: May 22, 2008
2nd Submittal: September 23, 2008
Planning Commission Hearing: October 23, 2008
City Council Hearing: November 25, 2008

CITY OF GLENDALE

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PLANNING DEPARTMENT

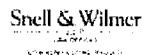
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EXECUTIVE
SUMMARY



EXECUTIVE SUMMARY

The Centrada Planned Area Development is located at the southwest corner of 91st Avenue and Bethany Home Road in the City of Glendale, Arizona. The site, comprised of approximately 75.12 gross acres, is encompassed by Bethany Home Road to the north, large-lot residence (Pendergast West) to the south, 91st Avenue to the east and the 95th Avenue alignment to the south. Directly northwest of the site, The University of Phoenix Stadium has been a major catalyst to recent development and development proposals in the immediate area. Centrada will, in combination with existing uses, create a symbiotic relationship between uses that promotes the overall viability and diversity of the site and Glendale's Entertainment District.

The Centrada Master Plan has been designed as an intense, multi-use destination offering a balance of housing, offices, retail, hotel and entertainment uses. This application requests that the current zoning classification of A-1 be changed to PAD. Submitted concurrently with the PAD application, is a request to change the General Plan Land Use designation from Residential 1-2.5 dwelling units per acre to Entertainment Mixed-Use. The Land Use Master Plan envisions the development of the following:

- 1,000 *dwelling units*
- 492,000 square feet of commercial space
- 660 *hotel rooms*
- 1.9 million square feet of office space
- structured parking

By approving these changes, the development goals and standards within the Centrada PAD will further the city's goal of establishing Glendale as a major employment center and entertainment district along the Loop 101 corridor, which will result in thousands of jobs for Glendale and West Valley residents. Further, as another mixed-use development model for Glendale, Centrada is expected to promote a quality environment flourishing with activity.

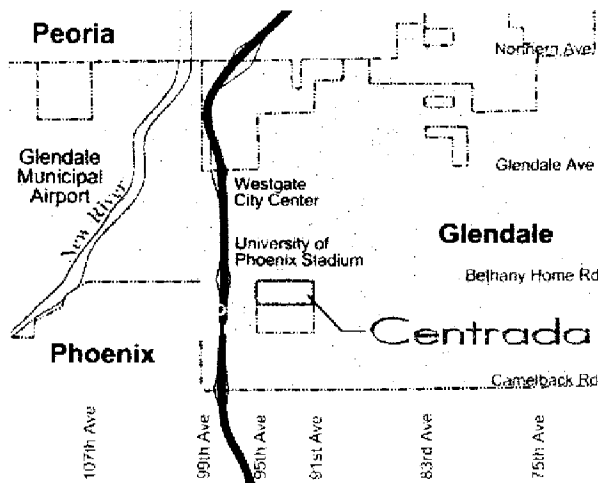
Centrada will combine residential and nonresidential land uses through common design elements that promote flexibility and encourage variations in building design, lot arrangement, circulation patterns, and land uses. Centrada is planned to include 6.2 million square feet of development within three distinct districts: a Residential District, a Mixed-Use Entertainment District, and an Employment District. The combination of these districts integrates and supports an environment of intensive land uses with uninterrupted pedestrian connections organized around streets, parks, and plazas.

#1

1. INTRODUCTION & VISION

1.1 PROJECT DESCRIPTION

The proposed **Centrada** project is located at the southwest corner of 91st Avenue and Bethany Home Road in the City of Glendale, Arizona. The site, comprised of approximately 75.12 gross acres, is encompassed by Bethany Home Road to the north, large-lot residences to the south (Pendergast West Estates), 91st Avenue to the east and the 95th Avenue alignment to the west. The site is currently vacant and is utilized for farming operations.



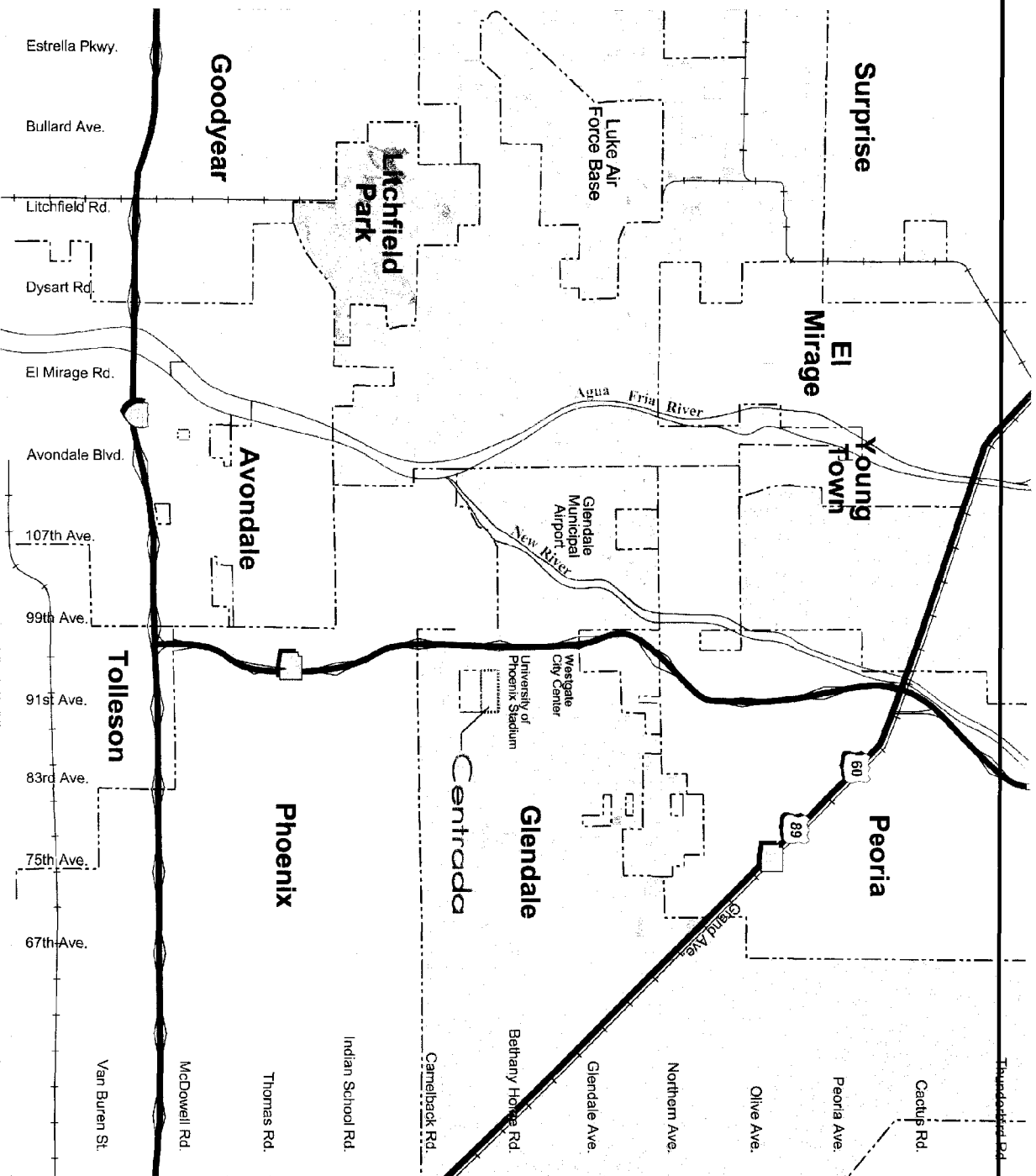
Currently, the site is accessible from Bethany Home Road, 91st Avenue and 93rd Avenue, which extends through the large-lot residential subdivision to the south and terminates at the south boundary of the site. The Loop 101 freeway is located approximately one-quarter mile west of the site. Also in close proximity to the site are, Jobbing.com Arena, University of Phoenix Stadium and Westgate City Center. The City of Glendale

Municipal Airport is located approximately three miles west of the site (See Exhibit 1, Vicinity Map).

Centrada is proposed as an intense, multi-use destination offering a balance of housing, offices, *retail*, *hotel* and entertainment uses. The project is designed as a compact environment integrating high-density residential condominiums, shopping, employment and amenities. The proposed plan includes structured parking, vehicular and pedestrian accessibility to adjacent properties and a "Signature Building", which will anchor the project with a 25-story mixed-use building with storefronts along the sidewalk.

Centrada includes the following, each of which will be discussed within the PAD *Application* (See Exhibit 2, Rendered Conceptual Site Plan). A total of 6.2 million square feet of development is anticipated to be developed including:

- 1.9 million square feet of office space
- 492,000 square feet of *retail* commercial space
- 16 *story hotel* with approximately 360 rooms
- 12 *story hotel* with approximately 300 rooms
- 1,000 residential units
- 8,900 parking spaces (approximate number)



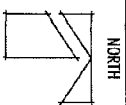
Centrada

Planned Area Development

Exhibit 1 Vicinity Map

Legend	
Jurisdiction City	Transportation
<input type="checkbox"/> City of Glendale	Freeway
<input type="checkbox"/> City of Phoenix	Interchange
<input type="checkbox"/> City of Peoria	Railroad
<input type="checkbox"/> City of El Mirage	Project Area
<input type="checkbox"/> City of Goodyear	
<input type="checkbox"/> Town of Youngtown	
<input type="checkbox"/> City of Surprise	
<input type="checkbox"/> City of Litchfield Park	
<input type="checkbox"/> City of Tolleson	
<input type="checkbox"/> City of Avondale	
<input type="checkbox"/> Maricopa County	

SCALE: NOT TO SCALE



PRELIMINARY: NOT FOR CONSTRUCTION
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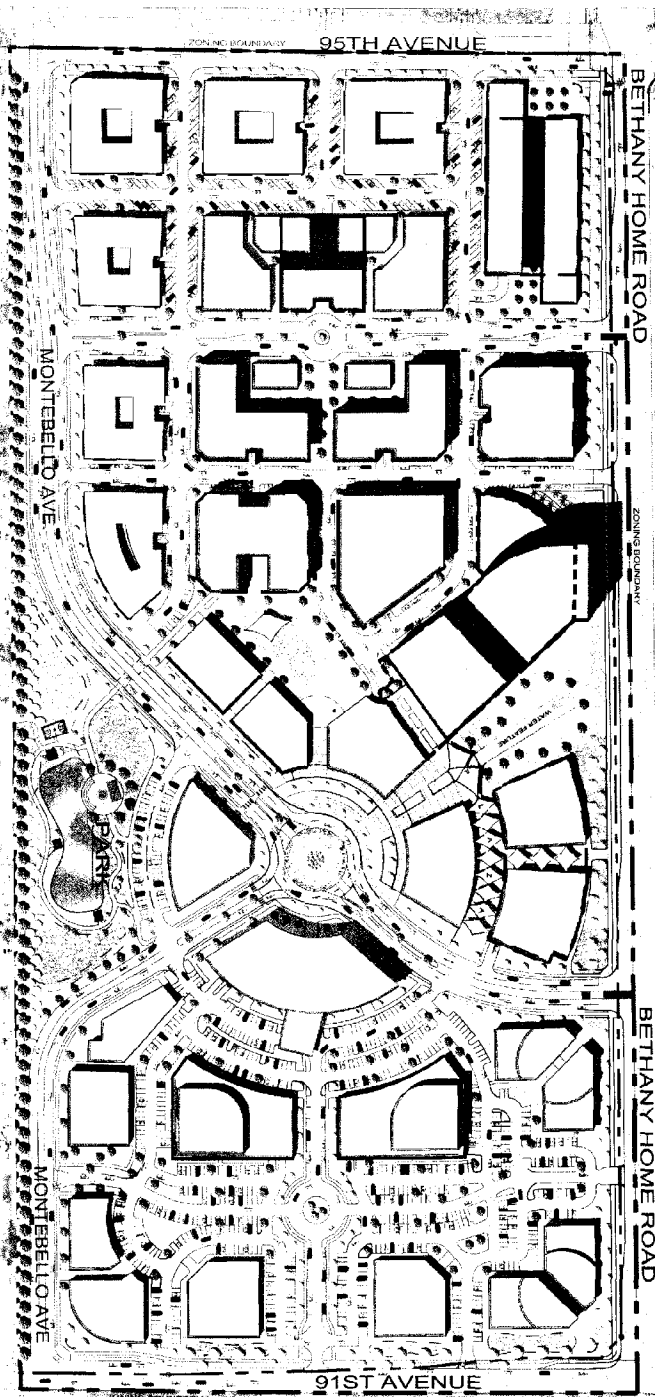
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land planning • landscape architecture
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Bethany Home Outfall Channel

Grand Canal

Pendergast West



Centrada

Planned Area Development

Exhibit 2

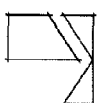
Rendered Conceptual Site Plan

Legend

- Residential (R) District
- Mixed Use Entertainment (MUE) District
- Employment (E) District
- 75.12 Acres (Gross)
- 66.73 Acres (Net)

NORTH

SCALE: NOT TO SCALE



DESIGN MARK NOT FOR CONSTRUCTION
CENTRADA LANDSCAPE DESIGN STUDIO, LLC

Date: 5/20/08
Project No. 0728

urban design studio
land planning • landscape architecture

1700 South 48th Avenue • Tempe, Arizona 85281 • phone: 480.994.0994



1.2 VISION, OBJECTIVE, AND GOALS

1.2.1 Vision

This Planned Area Development seeks to integrate numerous land uses which effectively accommodate pedestrian and vehicular traffic and provides for a wide variety of tenant services (See Exhibit 3, Project Rendering Aerial). *Centrada* will arrange a mix of uses to include a major commercial core, signature office tower, hotels, service retail, and various residential opportunities. Additionally, the site will provide a significant recreational open space element which will serve as a transitional buffer to neighboring residential development and provide future residential tenants of *Centrada* a centralized active amenity area.

The office and residential components of the PAD will create the need for uses such as restaurants and retail shops to support *Centrada* residents and daily workers alike, hotels to provide lodging for business clients, and nearby residential availability to house office employees. The proximity to University of Phoenix Stadium and the Westgate City Center make this an ideal location for main street retailing and urban entertainment.

This project will serve the current trend and interest in pedestrian friendly urban lifestyles that fit well within the mixed-use concept.

The overall vision of this mixed-use project is to:

- Effectively contribute to the newly established employment/growth core taking form in West Glendale.
- Provide a dynamic, mixed-use development furthering the growth network of surrounding properties.
- Establish a strong identity of "place" through project form and the genesis of use related districts.
- Create a public realm respectful and complementary of existing and proposed area context.
- Contribute to a long-term vision of development commitment in the area with varying degrees of socio-economic opportunities within the project.

1.2.2 Objective

It is the *applicant's* intent to create an active urban space – traditionally found in urbanized downtown areas. *Centrada* is designed to be an integral part of the West Valley's primary business, entertainment, retail, and urban residential hub. The development will include 6.2 million square feet of retail, office, restaurants, hotel, and residential space. The Signature Building, located at the southeast corner of 94th Avenue and

Centrada

Planned Area Development

Exhibit 3 Project Rendering Aerial (Looking North)

"Centrada will integrate a mix of uses to include a major commercial core, signature office tower, hotels, retail, and various residential opportunities. Additionally, the site will provide a significant open space element which will serve to buffer a neighboring residential development and provide future residents, daily workers and visitors a retreat with in an urban environment."

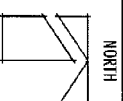


Scenes and improvements are proposed artist renderings and may not be built in precise conformance with this depiction.

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Bethany Home Road, anchors the project with a 25 story mixed-use building which acknowledges the primary urban street frontage with storefronts and adequate opportunity for pedestrian comfort zones along the street faces. The overall objective of Centrada is to create an urban development that can outlive short-term *retail* fads, adapt to change, and evolve into a true community center.

1.2.3 Goals

This mixed-use project will be designed to:

- Provide efficiently functioning infrastructure to maximize the benefits of a well-integrated transportation and pedestrian system.
- Provide comfortable pedestrian access to project components and to adjacent areas by designing attractive corridors and thoughtful horizontal and vertical pedestrian movements.
- Provide amenities and attractions that cannot easily be provided in single-purpose projects.
- Create a harmonious, memorable architectural character.
- Create an appropriate human and urban scale, through density, building *massing*, and architectural image.
- Plan each building phase within a staged development program as a self-sufficient entity while allowing for effective integration of subsequent elements.

1.3 SITE DESIGN VISION

Mixed-use projects typically involve numerous designers over an extended duration, which results in the evolution of details. For the purpose of this project, the principles below will guide the creation of an over-arching sense of place.

- Project buildings will relate and function with adjacent streets and pedestrian networks by orienting towards public right-of-way.
- The project should embrace the environmental context of the desert by incorporating building materials and building system technologies that are responsive to the climate.
- Human comfort will be accomplished by providing shaded areas, courtyards, and colonnades in all primary pedestrian circulation and gathering areas.
- Public and semi-public spaces will be provided throughout the project, and should be enhanced by utilizing architectural materials to excite the pedestrian experience.
- The project will promote visual interest by providing a variety of forms and textures contained within the architectural site detailing.
- The project will respect existing and manmade landmarks, such as the Stadium, and create vistas and panoramas that promote the views both from within the project and from adjacent streets, and developments.



- The project will provide transitional elements at the perimeter where development is larger (or smaller) than its adjacent physical context.
- The project will incorporate water feature(s) that will enhance the project image yet respect the limited water resource by using the water efficiently.

1.4 ADMINISTRATIVE GUIDELINES

The ability to create a high quality project does not happen by chance. The perception of development quality manifests itself in the visual appeal of a designed environment. The Master Developer of *Centrada* clearly understands that development quality is based on the effort put into the design, construction and maintenance of its improvements. To that end, the intent, formation and function of a formal group to oversee the design of incremental parcels and a formal group to maintain common areas is proposed.

1.4.1 Centrada Property Owner's Association (CPOA)

Due to the ability of the Master Developer to enter into future agreements to solely, jointly or sell portions of *Centrada* to other entities, a master property owners' association will be created to manage all common *open space* facilities. These tracts will be owned by the CPOA who will govern the project in a formal structure to be established by its bylaws. These facilities typically will include the plaza areas, entry monumentation, landscape/*hardscape*, internal *open space*/detention areas, private streets, landscaped public right-of-way, water features and park area. All property owners within *Centrada* will be required to pay dues to the CPOA. All private facilities constructed by the Master Developer will be dedicated to the CPOA for acceptance upon completion. The dedication and acceptance process will coincide with the public approval of the facilities through the City's development review process. Once accepted, it will become the CPOA's responsibility to manage and maintain the facilities under the purview of its adopted bylaws.

1.4.2 Centrada Design Review Committee (CDRC)

To achieve the intent of this PAD, ensure the implementation of the site design principles, and ensure its cohesive development, the *Centrada Design Review Committee* (CDRC) is to be created. The charge of the CDRC is to privately review, implement and enforce the *Centrada Design Guidelines and Covenants, Conditions and Restrictions* (CC & R's) which are the regulatory controls of the Master Developer. The design guidelines and CC & R's will be created to provide the specific framework and standards and procedures that will guide *Centrada* development in an orderly and comprehensive manner. As a courtesy, the draft design guidelines will be reviewed by City of Glendale staff for inclusiveness of City-wide standards. However, the imposition,



enforcement and administration of the standards will be the sole responsibility of the CDRC, not the City of Glendale. Any changes or updates to the *Centrada* design guidelines will be provided to the City of Glendale for informational purposes.

The *Centrada* CC&R's will establish the review authority of the CDRC. Preferably, CDRC approval of each development proposal will occur prior to the review and issuance of site plan approval by the City of Glendale. In this manner, the City will know before it considers a site plan that it is consistent with the *Centrada* PAD, design guidelines and CC & R's. Because the design review process is entirely independent of the City of Glendale site plan review process, the City may accept plans for processing and may authorize site plan approval for development proposals that have not been previously approved by the CDRC.

Membership on the CDRC shall be established by the CC & R's and may include representatives from the Master Developer, property owners, design consultants and/or project residents/tenants. It is anticipated participation on the CDRC will evolve over time as property ownership transitions from the Master Developer to other property owners, tenants and residents.

#2.

2. EXISTING SITE CONDITIONS

2.1 PROPERTY LEGAL DESCRIPTION

The site can be described as a portion of the Northeast Quarter of Section 16, Township 2 North, Range 1 East of the Gila and Salt River Meridian, Maricopa County, Arizona (See Appendix A for Property Legal Description and Boundary Map).

2.2 PROPERTY DESCRIPTION AND LOCATION



Centrada is located at the southwest corner of 91st Avenue and Bethany Home Road in the City of Glendale, Arizona. The site, comprised of approximately 75.12 gross acres, is encompassed by Bethany Home Road to the north, large-lot residences (Pendergast West Estates) to the south, 91st Avenue to the east and the 95th Avenue alignment to the west. The site has been owned by the

Pendergast family and used for farming operations for at least 100 years, producing crops of maize, alfalfa, corn, oats, and cotton throughout the year.

Until the 1930's, there was a farm house and silo located in the area of what is now 93rd Ave and Bethany Home. The silo was removed and the house was moved to 91st Ave (between Bethany Home and Montebello) in the 1930's. The house burned down in the 1950's, and no structures have been constructed since that time.

2.3 EXISTING LAND USE AND ZONING

The property is currently zoned and used as A-1 (Agricultural District) (See Exhibit 4, Existing Zoning Atlas). At the time the City annexed this parcel in 2003, the property was given an equivalent Glendale zoning designation of A-1. The A-1 designation was intended as an interim measure until the property owner had a specific development proposal ready to process in the City of Glendale.



2.4 EXISTING PRE-DEVELOPMENT CONDITIONS

2.4.1 Topography and Physical Conditions

The site is currently used for agricultural purposes and served by irrigation ditches that are located along the perimeter of the property. The site generally slopes at about 0.3% from northwest to southwest. The property is in Zone X of the Maricopa County Flood Insurance Rate Map, which is outside the 100-year floodplain.

2.4.2 Irrigation

Irrigation is provided by Salt River Project and supplied from the Grand Canal, which is located north of Bethany Home Road. SRP has stated that they can provide untreated surface water for irrigation, but further discussion will need to take place to determine if they will provide water for a water feature, such as a pond.

2.4.3 Roads and Rights-of-Way

At the current time there are existing *rights-of-way* along 91st Avenue and Bethany Home Road. Bethany Home Road is paved and is oriented east/west along the northern boundary of the property. The north half of Bethany Home Road currently exists as 33' right-of-way and the southern half exists as a 92' right-of-way.

91st Avenue is paved and is oriented south and north along the eastern boundary of the property. The west half of 91st Avenue exists as 33' right-of-way at the southern boundary and tapers to a 70' right-of-way at the intersection of 91st Avenue and Bethany Home Road. The eastern half of 91st Avenue exists as a 70' right-of-way.

95th Avenue is currently unimproved adjacent to the site and is oriented south/north along the western boundary of the property. Just south of the property, within the existing Pendergast West Estates residential neighborhood, 95th Avenue exists and serves as an internal road serving the neighborhood. As the surrounding area develops, eventually 95th Avenue will connect Bethany Home Road to Camelback Road as a major roadway.

2.4.4 Water

The site is located in Zone IV per the City of Glendale Water Distribution System Zones. Currently, the existing water system infrastructure near the site includes a 12-inch water main along 91st Avenue, a 20-inch water main parallel to Bethany Home Road, north of the Grand Canal, a 16-inch water main along 95th Avenue north of Bethany Home Road and a 12-inch water main along 95th Avenue south of the Montebello Avenue alignment.



The 20-inch water main, north of the Grand Canal is served by a booster pump station located at Bethany Home Road and 79th Avenue. Currently, on-site water infrastructure does not exist for the project. (See Appendix G, Water Report).

2.4.5 Wastewater

Currently, there is a 36-inch sewer main connection along 95th Avenue. This sewer main conveys flows to the south to a 48-inch line in Camelback Road, which conveys flows west to a lift station located on the northwest corner of Loop 101 and Camelback Road. Also, a 21-inch sewer line is located in 91st Avenue. South of Bethany Home Road this line increases to 24-inches. However, there is currently no flow in this sewer, as flows are diverted to the west at Bethany Home Road to the 95th Avenue sewer. (See Appendix H, Wastewater Report).

2.4.6 Utilities

- Gas is provided by Southwest Gas. There is currently a 4" stub located north of Bethany Home Road and 4" stub located near Camelback Road and 95th Avenue.
- Qwest is the provider of telecommunication services including telephone, high speed internet, wireless telephone and digital television. Existing infrastructure is located on the north side of Bethany Home Road.
- Cox Communications also offers communication services including digital cable HDTV, DVR, high speed internet and digital telephone services.
- SRP is the electrical provider in the area. An existing electrical transmission corridor is located along the north side of Bethany Home Road.

2.4.7 School Districts

The subject property is served by two school districts: Pendergast #92 Elementary School District and Tolleson Union High School District. At the present time, students attend Sunset Ridge Elementary School located at 85th Avenue and Missouri Avenue, and Copper Canyon High School located at 91st Avenue and Camelback Road.

2.5 REGIONAL CONTEXT

Glendale Arizona is one of the fastest growing communities in the United States. With 250,000 residents, it's the 4th largest city in Arizona. Glendale is located in the northwest region of the Phoenix Metropolitan Area, approximately 20 miles northwest of Downtown Phoenix. Access to Glendale can be gained by Loop 101, Interstate 17, Interstate 10, and US Highway 60. With fast, cost-effective access and a rapidly growing population base, Glendale has become a prime business opportunity location. Recent development in the area of the site, such as the University



of Phoenix Stadium and Westgate Center have put Glendale on the map as a destination place for living, shopping, dining, and entertainment (See Exhibit 5, Surrounding Development Map).

Employment
Center

Westgate City
Center
Jobing.com
Arena

The University of
Phoenix Stadium

B&B
Holdings

City of
Glendale
La Brea Villa

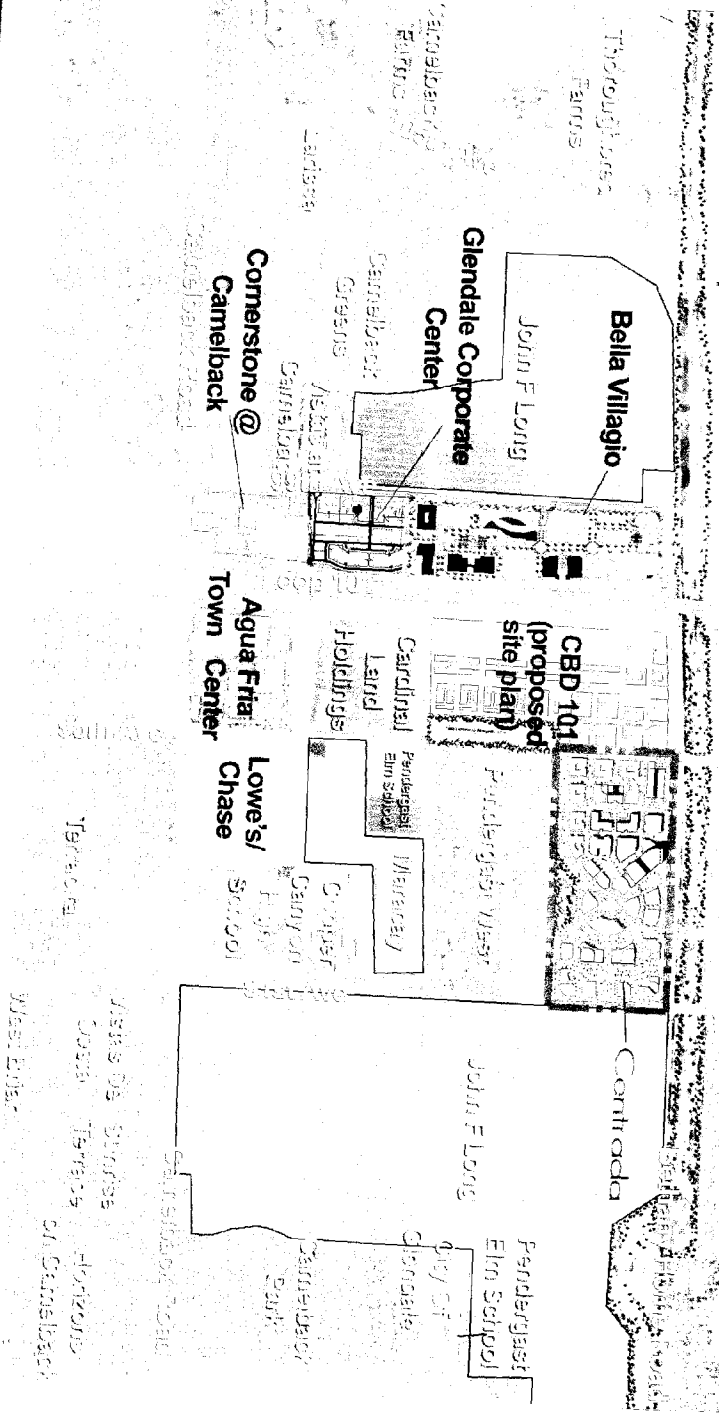
West Plaza

Centrada

Planned Area Development

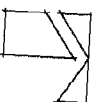
Exhibit 5

Surrounding Development Map



SCALE: NOT TO SCALE

NORTH



PRELIMINARY: NOT FOR CONSTRUCTION
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2.5.1 Area Development

As a major catalyst to recent development in Glendale, the University of Phoenix Stadium was completed in 2006. In addition to hosting Cardinal football games, the stadium was the host of Super Bowl XLII in 2008. The stadium is also the newly established annual site for the Fiesta Bowl.

Shortly after the completion of the stadium, the Westgate City Center began to develop. Westgate, at build out, will offer 6.5 million square feet of office, *retail*, dining, entertainment and residential uses.

Within Westgate, the Glendale Jobing.com arena is a multi-purpose sports and entertainment facility which is also home to the Phoenix Coyotes Hockey Team. The Jobing.com arena hosts concerts and family shows as well as signature sporting events like figure skating, basketball tournaments, and All-Star games.

Another major attraction in the area is the recently completed Cabela's Sporting Goods store. A popular destination for outdoor enthusiasts, Cabela's is as much a wildlife museum and education center as a *retail* store.

Located minutes from the site, the Glendale Spring Training Facility will be the Spring Training home of two major league baseball teams, the Los Angeles Dodgers and the Chicago White Sox. The proposed elements of the Training Facility will include a 12,000 seat stadium with 3,000 lawn seats, two practice fields per team, four minor league practice fields per team, over 42,000 square feet of clubhouse, and parking to accommodate 5,000 vehicles. The facility is scheduled to open in 2009.

2.5.2 Employment Growth

According to the Department of Commerce, Glendale is the *commercial, industrial and educational hub of the northwest portion of the Phoenix Metropolitan Area*. The past decade of development in Glendale has contributed to the active growth of businesses wanting to locate in the area. Glendale's diversified economic base includes manufacturing, services, aerospace, communications, precision metal working and casting, chemicals, electronics and warehousing industries.

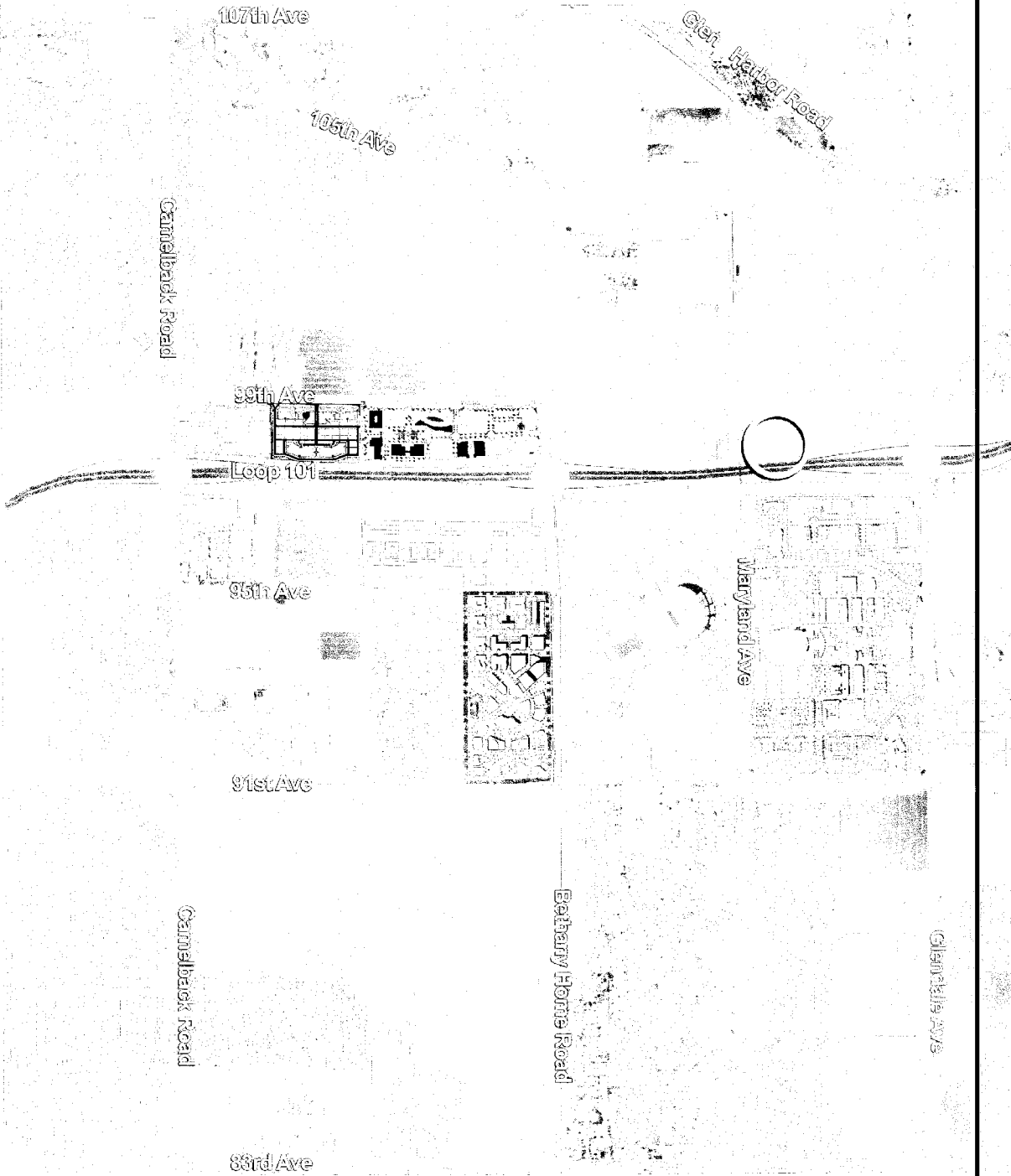
2.5.3 Transit Connections and Extensions

The City has taken a pro-active approach to planning for future growth, which includes investing in public infrastructure such as an additional interchange at Loop 101 and Bethany Home Road, an overpass at Maryland Avenue across the Loop 101, and arterial street improvements.

Currently, the City is working on advancing the timetable for extending the Valley's new light rail system to serve the growing population and



need in the Northwest Valley. In anticipation of transit serving the site, the *applicant* has planned for a possible future transit station along Bethany Home Road, as well as, a potential future local trolley loop that would intersect with the regional light rail line and potentially provide a local transit circulator throughout Glendale's Loop 101 corridor. (See Exhibit 6, Conceptual Area Transit Extension and Connection).



Centrada


Planned Area Development

Exhibit 6

Place holder for future Transit Plan as approved by the City of Glendale

In the future the City may propose multi-modal transportation within the project area. In this case this exhibit may be updated

Legend

-  Site Boundary
-  Freeway Access
-  Park and Ride

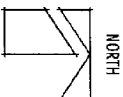
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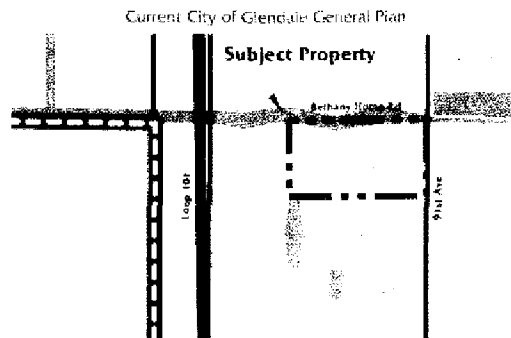
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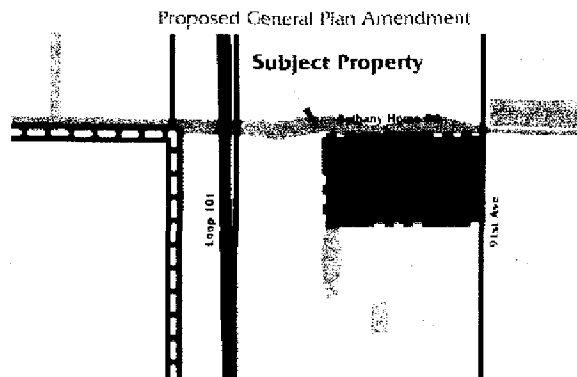
#3

3. RELATIONSHIP WITH GLENDALE GENERAL PLAN

The project site is currently designated as Residential 1-2.5 *dwelling units per acre* (See Exhibit 7, General Plan Land Use Map). The current designation is intended to accommodate semi-rural large lot development with generous distances to street and between *dwelling units*. This land use designation was adopted before several major land uses were planned and developed such as the development of the Stadium, on and off ramps onto Bethany Home Road from the Loop 101 freeway, and subsequent approval for mixed-use high-rise development in the area. The *applicant* has filed an application for Minor *General Plan Amendment*, which will run concurrently with this PAD application. It is envisioned that the adoption of the *General Plan Amendment* will change the use to Entertainment Mixed-Use. This land use designation will not only be consistent with recent approvals in the area, but also offer the flexibility to design the site to accommodate necessary transitions between existing residential to the south, proposed mixed-use to the west, and the existing Stadium to the north.



Residential 1-2.5



Entertainment Mixed-Use

Centrada

Planned Area Development

Exhibit 7

General Plan Land Use Map

Legend

- Low Density Residential 0-1, 1-2.5 du/ac
- Medium Density Residential 2.5-3.5, 3.5-5 du/ac
- Medium Density Residential 5-8, 8-12 du/ac
- High Density Residential 12-20, 20-30 du/ac
- Corporate Commerce Center
- Business Park
- Entertainment Mixed Use
- Office
- Education
- Public Facility
- Institutional
- Parks and Open Space
- Light Industry
- High Industry
- Planned Commercial
- General Commercial
- Lake Compatible Land Use
- City Limits
- Project Boundary

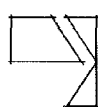
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City of Phoenix

99th Ave

Loop 10

Centrada

1-2.5

0-1

1-2.5

5-8

91st Ave

2.5-3.5

2.5-3.5

Road 0-1

2.5-3.5

2.5-3.5

1-2.5

1-2.5

83rd Ave

0-1

Camelback Road

CITY OF GLENDALE

General Plan



Planning Department
5850 West Glendale Avenue



3.1 GOALS OF THE GENERAL PLAN

The proposed Centrada project will be designed to be consistent with the goals and policies outlined in the City of Glendale *General Plan* and Western Area Plan. The following *General Plan* elements have been identified to demonstrate the compatibility of the Centrada project with the goals of the *General Plan*:

- Land Use Element

Goal 1: Relate residential areas with work places.

The *General Plan* recognizes the value in establishing desirable, various housing options for the local workforce and their families. Shorter commuting distance reduces travel cost and increases leisure time.

The proposed Centrada project is designed to be a dense environment offering residential housing opportunities, in addition to office and *retail* uses. The site will be highly desirable for the growing demographic looking for urban lifestyles. The project will offer an array of housing products with the densest urban products at the center and least urban at the perimeter. The site will also provide a variety of *retail*, restaurant, and entertainment uses, creating an atmosphere that remains vibrant day and night. More and more, office and *hotel* uses are favoring a mixed use environment which offers a better setting for workers as opposed to freestanding sites. The nature of the development, together with the location, makes this an ideal site to locate corporate headquarters.

Goal 2: Promote sound growth management methods.

With attention to policies that favor proportionate increases in shopping and jobs, the City should closely monitor land use absorption in non-residential categories. Service and infrastructure priorities act as incentives for cost-beneficial land use in accordance with Economic Development goals.

This development is precisely what is sought by this objective. The development will be organized around streets, parks, and plazas. The uses will be stacked – residential or office over *retail*, creating an instant downtown atmosphere.

Goal 3: Provide transition and buffer areas.

Spatial relationships with compatibility standards can minimize conflicts or impacts among land uses. The factors of separation, screening, visual relief and protection of privacy are instrumental in helping different development types function together without conflict.



The proposed development has been carefully designed to provide separation from the existing residential development adjacent to the site. The Montebello Alignment is proposed to come off alignment and move north, therefore keeping traffic away from the neighborhood. The movement of the roadway creates an open space area which will provide a buffer that is quiet and visually pleasing. Structured parking will also be implemented to mitigate negative traffic impacts on adjacent neighborhoods.

Goal 4: Ensure compatibility between land use and transportation. Encourage incorporation of non-vehicular circulation within and connecting all developments.

The proposed development has been designed to accommodate the future expansion of light rail, and the use of a circulator within the project and surrounding area. The integration of non-vehicular circulation represents a primary objective of the development. The mixed-use environment, surrounding entertainment uses, and scale of the project encourage the development of extensive pathway networks that unify the site and minimize vehicular interface.

- Circulation Element

Goal 2: Support alternative modes of travel.

Glendale will foster options to automobile travel by seeking to expand the range of service levels of its transit system as an attractive and convenient alternative to the automobile; develop a comprehensive and continuous system of bicycle and pedestrian facilities; promote working at home and staggered work hours to help reduce traffic congestion; and encourage alternative modes of travel.

The project area is currently not served by local bus transit, however, planning on the site has accommodated the future extension of alternative transportation modes, including the future extension of the light rail system. Also, there is potential for a local circulator system to serve the immediate vicinity of the project, including the nearby stadium facilities and Westgate City Center.

Goal 7: Integrate land use and transportation.

Land use patterns and transportation systems will be integrated to help reduce congestion and provide convenient access. Mixed-use development, utilizing alternative transportation systems, helps reduce the number of vehicle trips. Improving the balance of jobs to housing is a key planning response to the length of work trips.



The proposed project will integrate residential, employment and *retail* uses to discourage vehicle trips and mitigate vehicular transportation within the project. The project site and proposed uses within the site are easily accessible from the surrounding community, due to the site's proximity to arterial roadways and the Loop 101 freeway. As discussed above, the proposed project will also take advantage of potential future transit options.

- Housing Element

Goal 2: Provide the citizens of Glendale a choice from a wide variety of housing types.

Opportunities for housing variety should be provided in all geographic areas of the City. The goal is intended to be implemented city wide and seeks quality architectural design and planning a myriad of housing types.

The housing options offered within the proposed *Centrada* project will likely target childless households looking for urban lifestyles and housing products. This growing demographic is typically drawn to in-town and urban housing products such as apartments over *retail*, loft apartments, luxury high-rise condominiums, mid-rise apartments with structured parking, garage townhouses, and live-work units. It is the intent of this development to provide many of the housing options just mentioned.

- Redevelopment Element

Goal 2: Consider infill development a top priority.

Available, existing infrastructure constitutes a major plus for infill projects. Increased shopping and employment opportunities, as in Glendale's revitalizing Downtown Core, add desirability to inner-city neighborhoods. Urban living alternatives, bringing population increases to many U.S. cities' downtowns, provide an ideal adaptation for residential potential in Glendale redevelopment planning.

The project site is located adjacent to what is currently a major activity center. The proposed *General Plan* Amendment will facilitate both additional opportunities for infrastructure upgrades and public transit, which collectively increases transportation convenience in the area.

- Urban Design Element

Goal 1: Design visual transitions between neighborhoods.



This goal intends to promote the unique character and identity of individual neighborhoods representative of their own images and designs while promoting a visual transition to equally as distinct neighborhoods while maintaining a sense of place and identity to evoke the image of "Glendale".

The current Low Density Residential land use is designed to accommodate semi-rural large lot development with generous distances to street and between *residential dwelling units*. This land use designation was adopted before several factors were not present at the time the *General Plan* was prepared such as the development of the Stadium, on and off ramps onto Bethany Home Road from the Loop 101 freeway, and subsequent approval for mixed-use high-rise development in the area. The adoption of the *General Plan Amendment* will change the use to Entertainment Mixed-Use. This land use designation will not only be consistent with recent approvals in the area, but also offer the flexibility to design the site to accommodate necessary transitions between existing residential to the south, proposed mixed-use to the west, and the existing Stadium to the north.

Goal 2: Encourage architectural variety.

Architectural "sameness" is a concern for Glendale residents and stakeholders. Given the tools available to the construction industry and the demands of modern consumers, the City is committed to providing direction and being a working partner with private interests in creating architectural variety.

The proposed Centrada project will implement architectural variety into the ultimate design of the residential, *retail* and employment uses proposed for the site. Also, *setback* and *open space buffers* will be a critical component of the edge treatment for the Centrada project. Specific definition of these standards will be presented as part of the zoning and site planning portions of the future development process.

Goal 3: Introduce different *streetscapes* in each neighborhood.

Glendale celebrates its diversity among neighborhoods. In support of recognizing each area's distinction, the citizens have asked that publicly *maintained and improved streetscapes* reflect many diverse designs.

It is anticipated that both within and outside of the Centrada project, a strong pedestrian circulation element will be constructed to tie the project into adjacent neighborhoods and



facilities where appropriate, with entry statements and *hardscape* features intended to promote the use and enjoyment of the pedestrian circulation element.

PUBLIC ASSETS ELEMENTS

- Public Services and Facilities Element

Goal 1: Establish municipal assets as the framework for land use and economic development.

Glendale desires to provide for economic expansion, including the development and redevelopment of land, in balance with the provision of municipal services. This balance is key in ensuring that existing residents and businesses continue to enjoy current levels of quality facilities and services as necessary service expansions are completed.

In the event that the existing infrastructure does not provide adequate capacity, upsizing and/or oversizing will be contemplated in order to facilitate development of the project and to sustain the public water and sewer systems in "good health."

As a result of this *General Plan* Amendment and the adoption of the forthcoming PAD Zoning Amendment, intersection improvements, installation of traffic signals, Streets, and Sidewalks, if deemed appropriate by the City and the developer will be provided in conjunction with other infrastructure improvements as needed to accommodate development of the site. User fees or development impact fees associated with new construction on the project site will provide the financial support contemplated by this goal.

- Fiscal Element

Goal 1: Stress financial responsibility and accountability in the City's *General Plan* implementing investments.

Citizens expect the City to apportion expenditures with first priority to necessities, such as public safety and basic services; next, to *General Plan* amenity enhancements; then to revenue-generating prospects.

Development anticipated by approval of this *General Plan* Amendment will not require City participation and therefore create no risk to the financial security of the City.

It is not anticipated that development of the Property will require funding derived from capital improvement projects or other infrastructure investments on behalf of the City.



- Public Buildings Element

Goal 3: Consider joint and/or multiple use opportunities.
In all public building project and in school facility planning, joint-use can achieve significant efficiencies with limited public resources.

The proposed office spaces within the project can be leased to multiple tenants, offering a variety of services as well as revenue options. Also, the proposed *hotel* could be utilized in a variety of uses, particularly in conference and auditorium style rooms. It is intended that the property use will be enhanced by this *General Plan* Amendment in that additional and diverse land uses will be constructed which will further "activate" the property making public/private engagements more appealing and attractive.

- Economic Development Element

Goal 1: Accelerate economic growth at a higher rate than population. Policies for economic development mesh with other Elements' aims to target business and institutional growth as primary contributors to future municipal stability. Both residents and their local government seek assurance that families, and the City itself, will continue to have the means to support community excellence.

It is anticipated that the office, *retail* and *hotel* uses within the Centrada project will generate many additional employment opportunities. This job creation increases the jobs to housing ratio within the community and further bolsters the Loop 101 corridor in Glendale as a major economic attraction.

Goal 2: Encourage business growth for In-City job opportunities.
Land use decisions, together with street and transit improvements, identify prime locations for employment campuses. Enterprises are encouraged to locate and grow in Glendale.

This *General Plan* Amendment will result in the implementation of mixed-use development within the site, intended to reduce commuting time, distance and expense by providing employment opportunities proximate to established residential districts for both residents and non-residents of the City.

The *applicant* envisions the proposed development concept as an opportunity to promote workforce-community interaction by investing in development uses that are in close proximity to established residential areas that offer a variety of housing product and price range.



Goal 3: Attract diverse high-paying industries.

Glendale's quality living advantages should be promoted to improve our share of metropolitan employment. Particular emphasis is directed to welcoming corporate entities in growth industries such as communications, data analysis, biologicals, energy, and health care.

The *applicant* is proposing the development of a mixture of uses that will, in combination with existing uses to the north, create a symbiotic relationship between uses that promotes the overall viability and diversity of the site. Also, this *General Plan* Amendment request provides for the development of specific uses that will be dictated in part by current market conditions. The proposed uses would not restrict the attraction of small and medium size local businesses.

Goal 5: Establish commercial destination attractions.

Activity center design and construction, particularly in Western Area and City Center developments, should project a distinctive sense of place. Architectural themes, building scale, outdoor spaces and amenities require attention to human scale, pedestrian convenience, and visual excitement.

The *Centrada* project is proposed as a unique mixed-use development with diverse building *massing* and architectural character. The project will include streetscape theming and landscape design on a *pedestrian scale*. The project will incorporate a community gathering place to offer residents and visitors an open area to recreate or relax.

QUALITY OF LIFE ELEMENTS

- Recreation Element

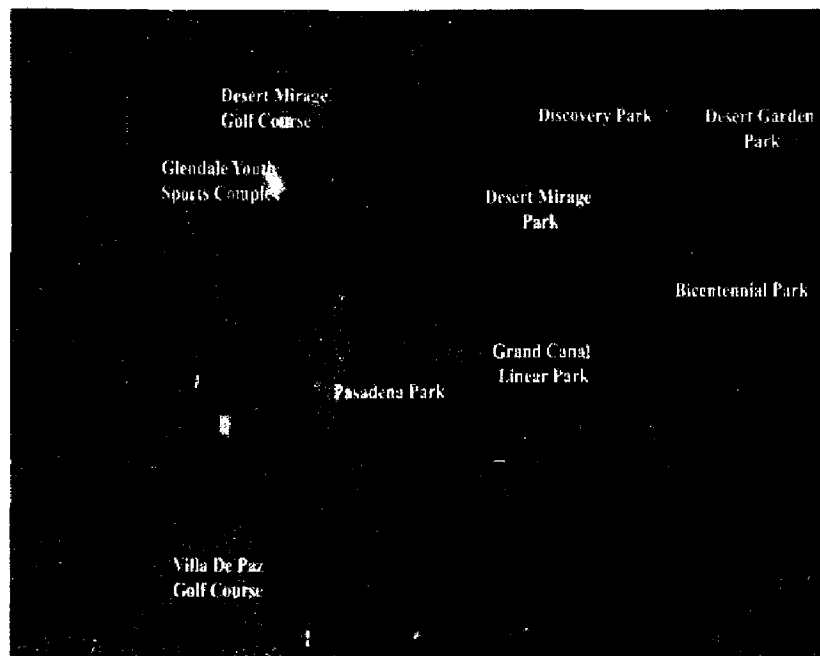
Goal 1: Provide and equitable distribution of parks and recreation amenities.

Citizen preferences during the *General Plan* update process indicated that attention must be given to the overall distribution of park and recreational facilities within the community. Service areas for recreational facilities can be enhanced by providing ease of access for all modes of transportation, thereby maximizing park locations and distribution.

During the site planning processes, the *applicant* will seek to identify the specific locations of *open space* and recreational amenities that contribute to the aesthetic environment of the office, residential, *retail* and *hotel* developments, but also serve as insightful and effective *open spaces* that will be a benefit to the



surrounding community. The *applicant* will strive to identify a network of pedestrian and bicycle trails and elements that will enhance the utilization of these improvements. An effort will be made to connect improvements to existing or proposed alignments and/or community open spaces that may be proximate to the site, such as the Grand Canal Linear Park, Desert Mirage Park and the Glendale Youth Sports Complex.



- Safety Element

Goal 1: Maintain proper staffing ratios of police, fire and emergency personnel in relation to Glendale population.

With the growth Glendale is experiencing, and will continue to experience for the foreseeable future, it is of critical importance that the City budget for additions to public safety personnel to maintain service within stated goals.

The *applicant* will work with City Staff to ensure that the project is designed to promote safe and secure environments for employees and visitors of the property.



Goal 2: Personalize the face of public safety to residents
Educate the citizenry to the cooperative nature of police, fire and emergency medical services and to the great assistance a vigilant citizenry can provide in the performance of their services on the residents' behalf.

See previous response.

Goal 3: Focus on traffic safety improvements.
Stress roadway improvements to improve protection of the public and to reduce time spent by public safety personnel on preventable incidents.

The proposed uses will generate additional vehicular, bicycle and pedestrian traffic. It is the responsibility of future development to ensure that this traffic is facilitated in an efficient and safe manner that reduces opportunities for conflicts. The *applicant* will work with staff to evaluate appropriate traffic mitigation and safety improvements. Future design will strive to separate pedestrian traffic from busy roadway, particularly along Bethany Home Road and 91st Avenue, where possible and promote the utilization of multi-use pathways that meander through non-vehicular areas. Provisions for such amenities have not yet been defined, but will be necessary components of future planning processes.

- Neighborhood Element

Goal 1: Establish distinct neighborhood identities.

Diversity among residential areas in Glendale is a point of civil pride. Historic structures, architectural details, special gathering places or *open space* treatments relate to the different cultures, social preferences and leisure activities of the families that live in the neighborhood.

The ultimate objective of this amendment *application* is to create a viable community that compliments the existing multi-use development to the north (and proposed mixed-use development to the west) and integrates seamlessly within its context. This integration can be accomplished both in architecture and utility, creating an environment that attracts users and residents by linking itself to the surrounding neighborhoods. Landscape themes should compliment or enhance upon existing elements and future development should seek to become an extension of the greater community's identity.



Goal 3: Observe regulations and standards for livability.

As a maturing City, Glendale is mindful of qualitative criteria for sustaining principles of property value, enjoyment and privacy. Codes, design guidelines and municipal staff assistance are intended as assurance

against neighborhood decline. New or old, residential areas are expected to contribute positively to overall community image.

In an effort to maintain its standing as a "good neighbor" to adjacent properties, the *applicant* will pursue the implementation of compatibility and quality standards that recognize the concerns of adjacent property owners. These standards will include the definition of effective buffering and screening techniques and limit the impact of the development. Additional measures such as design guidelines may also be utilized to ensure appropriate development design and implementation.

- Conservation of Resources Element

Goal 2: Promote and practice energy conservation.

Architects, designers, developers and City officials must work together to employ building and site designs that embrace and maximize energy efficiency.

The *applicant* concurs that the utilization of energy efficient materials and practices is a preferred development scenario. The *applicant* will work with the City to identify appropriate opportunities for implementation of such practices, and determine the correct application for the integration of "green" technologies into the site development process.

Goal 3: *Protect and improve the quality of storm water runoff and reduce soil erosion.*

Residents, developers and agri-business operators can have a substantial impact on reduction and prevention of storm water pollution. Permitting programs can be improved and enforced to ensure grading activities minimize storm water quality degradation.

The subject property will implement storm water runoff techniques and designs that are in concurrence with the City's development criteria.

- Bicycling Element

Goal 1: The bicycle system will be continuous and provide access to all parts of the City.



Access to key community facilities, such as parks, schools and service areas, and connectivity between neighborhoods are essential in enhancing the functionality of the bicycle circulation system.

The need for alternative transportation facilities is a critical component in the viability of an effective multi-use environment. With residential uses located south and east to the subject property, and regional destinations immediately to the north, the establishment of bicycle elements throughout the site will be appropriate. The *applicant* will work with City staff during the site planning process to identify appropriate bicycle route alignments and support facilities throughout the site. Connections to the potential light rail station along Bethany Home Road will also be examined.

GROWING SMARTER PLUS ELEMENTS

- Growth Areas Element

Goal 1: Secure employment expansion in well-paying jobs in high quality business and commerce park developments.

This goal responds to Glendale's existing employment nodes and adopted specific plans that call for master planned, mixed-use activity centers that attract corporate site selection. Amenities for employees include shopping, recreation and nearby housing choice.

The Centrada project is proposed to act as an activity center, attracting employees for the *retail* and office uses, as well as the *hotel*. Shopping and housing choices will be available to employees within the Centrada project, and other available amenities such as the nearby sports facilities and Westgate City Center will be available to residents.

It is the Intent of the proposed Centrada project to meet the City's goal of providing high quality employment development proximate to the Loop 101 Freeway corridor. The proposed uses will improve balance related to the jobs-to-housing relationship, particularly in this portion of the City.

Goal 2: Identify specific locations and provide infrastructure for growth nodes.

Designate prime mixed-use development areas directed by municipal capital investment priorities. Compact, more intense core *massing* is desired for some Growth Areas such as the City Center and Western Area intended to absorb most municipal growth over the next two to three decades.



The Westgate City Center and adjacent sports facilities have become a catalyst for mixed-use destinations in the immediate vicinity, thereby enhancing the desire for compact, development. The goal of the proposed Centrada project is to maintain compatibility with the existing (and proposed) intense development in the immediate area.

The vacant nature of the subject property translates well to designation of "growth node" status within the City. The acreage available for development is appropriately located adjacent to major municipal and regional circulation corridors to facilitate vehicular ingress and egress in an efficient manner. This proximity to major infrastructure will limit the overall scope of impact to neighboring communities.

Goal 3: Manage growth to achieve reasonable, responsible urban development.

Growth Area planning activates community character preservation as well as fostering economic development. By designating sufficient developable land to achieve desired land use absorption, Glendale protects other assets from incursion by overly intense or incompatible development.

One of the primary advantages of the subject property is that it lies adjacent to urbanized/built portions of the City. The existing level of infrastructure and community improvements reduces the burden incurred by the City by not having to operate and maintain major infrastructure extensions in remote portions of the municipal area. The subject property can be viewed as an infill opportunity that will tie into existing infrastructure that is appropriately sized to accept additional contributions.

While the *applicant* deems the proposed uses as appropriate for the area, future development will require recognition of the adjacent *single-family* uses with an objective of establishing comprehensive buffering and *setback* requirements to protect these uses. These requirements will be identified and implemented during the future zoning and site planning portions of the development process.

- Open Space Element

Goal 1: Retain spacious feeling.

Residents value the open feeling of rural areas within close proximity to the urbanized areas of Glendale and support an active role for the City and private entities in retaining *open space*.



The allocation of *open space* is a significant component of any development type, whether it is residential, commercial or employment. The provision for developed *open space* within the proposed amendment area will include amenities that are intended to enhance the variety of uses, as well as the surrounding community. *Open space* areas within the proposed *Centrada* project will focus on being functional, attractive and appropriate for the environment. In addition, perimeter buffer and transitional areas will include enhanced landscaping, with theming and concentrations that are appropriate for the area. Internally, *open space* areas will be contiguous, lending to a network of interconnected pathways and corridors that link uses and amenities.

#4



4. DESIGN ELEMENTS

4.1 PURPOSE AND INTENT

This section is presented as a generalized set of design guidelines and standards for the various land uses of *Centrada*. The intended use of this section is to provide a framework to illustrate and define common design objectives for a unified, harmonious setting with the potential for multiple owners, builders, and tenants. The guidelines aim to promote a coordinated environment. However, design diversity is encouraged in order to create a specific identity for each district. These guidelines are also for use as standards for future compliance to maintain the integrity of the development. Compliance with the guidelines does not ensure or imply acceptance nor approval by the City of Glendale. Local standards shall prevail regarding issues not specifically addressed in these guidelines that may arise during the development of the subject site.

Mixed-Use projects typically involve numerous designers, which results in the evolution of details. The goal of the guidelines is to provide principles of design to maintain a distinct level of quality for the overall development as well as human-scale detail to enhance the pedestrian experience. Human-scale details should be prevalent on buildings and site details and may be achieved through sensitive treatment of building *massing*, entry design, human comfort and safety, and window and exterior treatments.

The landscape architectural design should further enhance the pedestrian environment, as well as ensure the adequate and strategic placement of walkways and walkway widths. Planting features, shade trees and shading devices, paving materials, outdoor furniture, lighting fixtures, wayfinding and identification signs, and water elements should contribute to the pedestrian comfort and experience of the project. For the purpose of this project the principles below will guide the overall development to create a sense of place.

- Project buildings will relate directly to and function with adjacent streets and pedestrian networks by orienting towards street frontages.
- Human comfort will be accomplished by providing shaded areas, courtyards, and colonnades.
- Public and semi-public spaces will be provided throughout the project, and enhanced by utilizing materials to enhance the pedestrian experience.
- The project will promote visual interest by providing a variety of forms and texture in the architecture.
- The project will respect existing and manmade landmarks, such as the University of Phoenix Stadium, and create vistas and panoramas that promote the views both from within the project and from adjacent streets, and developments.



- The project will provide transitional elements at the perimeter where development is larger (or smaller) than its adjacent physical context.
- The project will incorporate active *open space* feature(s) that will enhance the project image yet respect the limited water resource by using the water efficiently.

4.2 CONTEXT AND ARCHITECTURAL CHARACTER

Centrada strives to effectively contribute to the newly established employment/growth core currently taking form in West Glendale. In order to accomplish this *Centrada* will provide a dynamic mixed-use development, furthering the growth network of surrounding properties, and establish a strong identity of "place" through project form and the genesis of use related districts. *Centrada* is designed with three distinct districts: 1) Residential; 2) Mixed-Use Entertainment; and 3) Employment (See Exhibit 8, Land Use Area District Map). Each District creates an immersive environment, where the selection of uses and building arrangements comprise a particular type of environment. Each environment is comprised of elements that lend themselves to the particular type of uses promoted in the district.

The overall architectural character of the project shall strive to achieve a recognizable and memorable building environment amidst the existing and proposed development of the immediate area. As trends in popularity of architectural styles often change, there are general design principles that should be observed and serve as guidelines to accomplish the high aesthetic quality anticipated for this project.

- The project shall promote the pedestrian level experience by utilizing effective interface design elements along street and building frontages such as architecturally enhanced and recognizable building entry points, well designed overhangs and pedestrian comfort areas.
- The project will embrace the environmental context of the desert by incorporating building materials and building system technologies that are responsive to the climate.
- Design of building masses shall respect adjacent developments and consider the effects on internally desired design elements such as pedestrian passageways, colonnades and effects of shading such areas.
- Building orientation shall be studied to minimize the negative effects of solar exposure to fenestration while providing maximum opportunity for views.
- Environmentally-friendly or "green" building materials and construction methods are encouraged throughout the development to promote sustainability and strive for efficiency in resource consumption.

Centrada

Planned Area Development

Exhibit 8 Land Use Area District Map

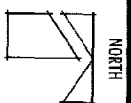
- Legend**
- Residential (R3) District
(21.22 Gross Acres)
 - Mixed Use Entertainment (MLU) District
(32.12 Gross Acres)
 - Employment (E) District
(21.76 Gross Acres)

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PRELIMINARY - NOT FOR CONSTRUCTION

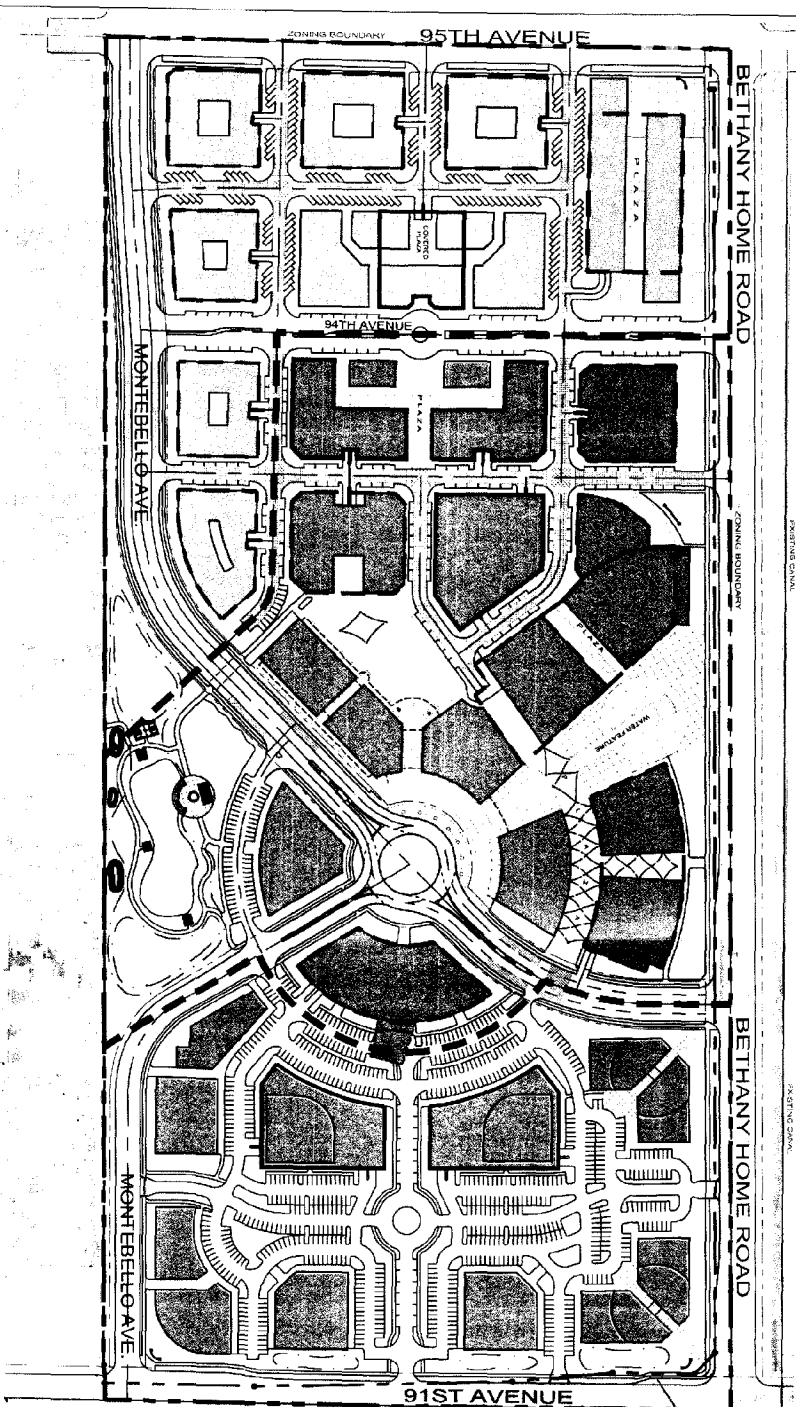
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Architecturally, building styling should promote a contemporary uniqueness embodied within the select materials and methods in which modern buildings are designed and constructed today. It should be a commonly shared value among future designers that furthering contemporary urban design themes (through primary building materials and structural elements) are driving forces in the creation of building form and level of potential detail. Building styles utilizing an over-abundant amount of false trim detailing, enhanced cosmetic or overly-decorative aesthetic elements for identification purposes is discouraged within this PAD.

As commonly observed within similar urban planned developments, building *massing* plays an important part in the overall image and feel of such a development. This plan has been designed to concentrate the most building intensity of the development in the core area of the site, with a reduction in building intensities and *massing* toward the development perimeters. Three-dimensionally, building masses should promote variation of form and height while preserving the intent of this PAD to concentrate more intense building masses in the central areas of the project.

The individual Districts can be further described as follows:

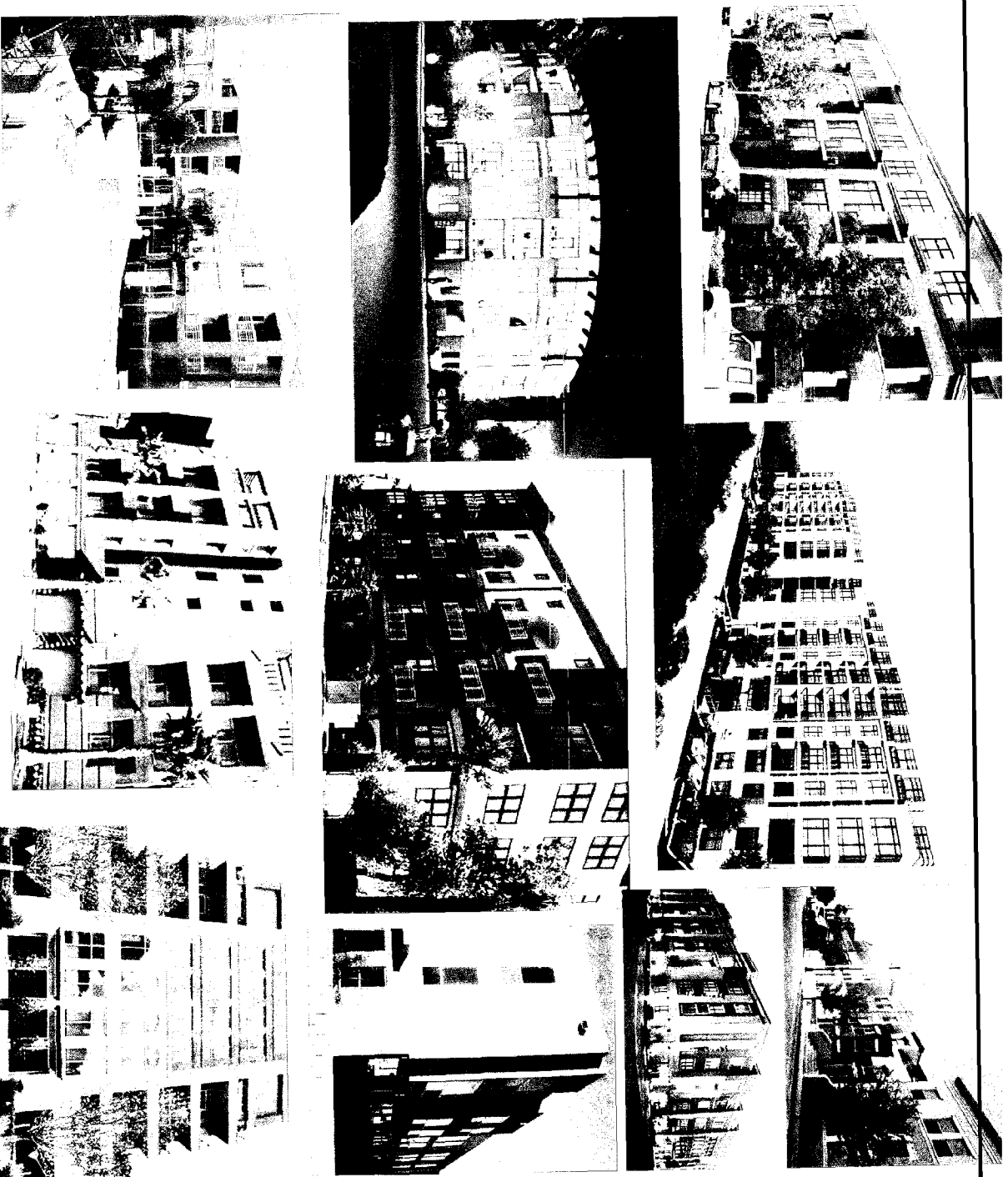
4.2.1 Residential District

Centrada's extraordinary mix of housing options will primarily provide high-density urban residential development. The plan includes a diverse range of urban variety housing products. Approximately 1,000 units are planned throughout the project with nearly half of those planned within the "Residential District". Urban housing styles appropriate for this district could include row houses, garden condominiums, luxury high rise apartments, multi-story flats, live/work spaces, or brownstone types of residential units. Housing is generally concentrated in the western and southwestern portions of the site within the Residential District, although planned in each of the project districts to increase the level of true mixed-use housing opportunities.

The market for residential space within a mixed-use environment is particularly favored by households without children. Residents who choose to live within an urban setting often do so because of the convenient shopping and entertainment or proximity to employment. Many of the residential units outside of the project's Residential District within Centrada are placed ideally above a *retail* or office use and represent more of a typical mixed use building type. Live/work type units would be characterized by having a commercial component at the sidewalk topped with a dwelling unit. Units of this type would be primarily concentrated outside of the Residential District. Residential units that are filled with residents with dual incomes contribute to the buying power



needed to support and sustain planned *retail* within the Centrada Mixed Use District. (See Exhibit 9, Residential District, Architectural Character, and Exhibit 10, Brownstone Rendering)



Centrada

Planned Area Development

Exhibit 9 Residential District Architectural Character

"The Residential District primarily offers loft and condominium units. The Residential District will provide the critical mass needed to sustain round-the-clock activity required for a successful mixed-use project."

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Centrada

Planned Area Development

Exhibit 10 Brownstone Rendering

"While most buildings in the Residential District primarily support residential uses, there are also buildings that have been designed to accommodate retail and office use at the ground floor. At build out the District could support approximately 465 dwelling units, 106,000 sq ft of office area, and 81,000 sq ft of commercial space."

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4.2.2 Mixed-Use Entertainment District

The Mixed-Use Entertainment (MUE) District is planned as a unique mix of shops, restaurants, *hotel*, and entertainment uses. The MUE district is designed to attract main street retailers such as Banana Republic, Pottery Barn, Crate and Barrel, Sur La Table, Z-Gallerie and others combined with high-profile "destination" restaurants such as Cheesecake Factory, PF Chang's China Bistro or Morton's Steak House for example. The projects intended signature building, located at the southeast corner of 94th Avenue and Bethany Home Road, anchors the District with a 25 story mixed-use building which acknowledges the urban core setting with storefronts and mixed-use opportunities fronting public sidewalks and pedestrian promenades. The design of the site is intended to draw people in with the use of view corridors that intrigue, welcome and guide pedestrian circulation through the site, promoting a sense of discovery once inside the project. A dramatic water feature and urban landscaping scheme will create a captivating outdoor space and will serve as a core promenade area capable of hosting festivals and live events.

The main pedestrian promenade leads directly into the Mixed-Use Entertainment District core. Two major streets converge to define the central core of the MUE District with an enlarged traffic roundabout, furthering the urbanized internal feel of the project and providing a catalyst of form for the surrounding buildings. *Retail* uses are located primarily at street level, with parking primarily located in above and below grade parking garages. Two *hotels* are envisioned within the MUE District with a combined total of approximately 660 rooms. Typically, *hotels* in a mixed-use project will benefit from pedestrian, *retail*, and entertainment facilities that enhance the *hotel's* location, image and guests' experiences during their stay. At the same time, the *hotels* would directly benefit from the demand generated by office and residential components of the project as well.

There are approximately 450 residential units located within the MUE district. With only three buildings of primarily residential use in the MUE district, the majority of living units envisioned for this district would occupy upper levels of buildings with strong *retail* and/or office presence at the ground levels. Live/work space opportunities would also be plentiful within the MUE district.

Considered to be the heart of this Planned Area Development, the MUE district combines the fully integrated urban vision of this project with all proposed uses represented and shared within a dynamic land use program.



(See Exhibit 11, Mixed-Use Entertainment District Architectural Character, Exhibit 12, Mixed-Use Core Rendering, Exhibit 13, Retail Core Rendering, and Exhibit 14, Main Plaza Rendering)



Centrada

Planned Area Development

Exhibit 11 Mixed-Use Entertainment District Architectural Character

"The heart of Centrada, this District fosters a mix of all land uses within 19 buildings to complete the synergy necessary to make the project work. Key design components focus on the pedestrian and a 'free flowing' feeling of connectivity."

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Centrada

Planned Area Development

Exhibit 12

Mixed-Use Core Rendering (Looking Northwest)

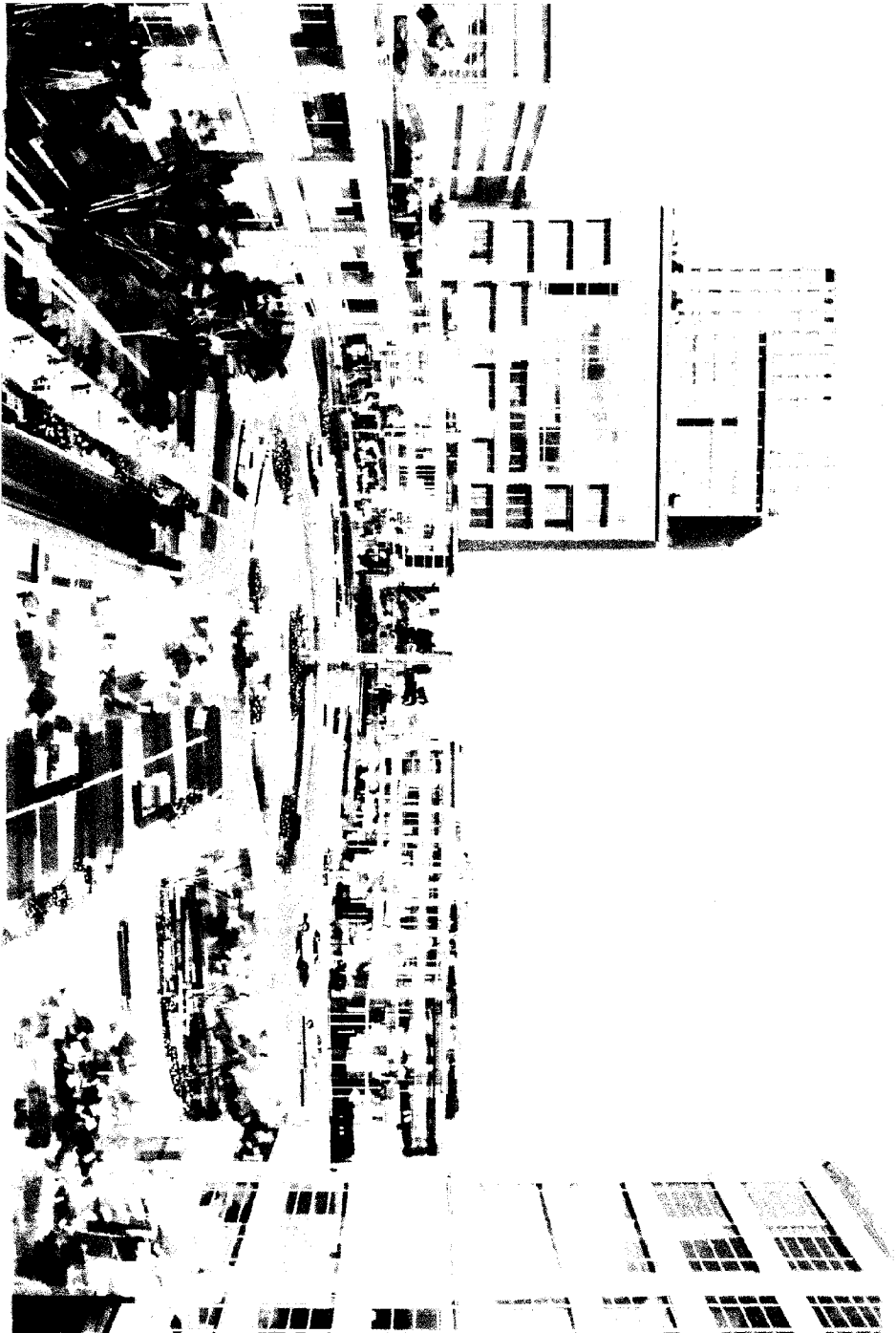
"While retail will be a predominant use at the ground level, office, residential, and hotel uses are planned for upper levels. The upper level uses all benefit due to the convenient location of the substantial retail component. Two hotels are planned, which will enhance the project by providing 24-hour vitality, attracting groups and people throughout the day and evening."

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Planned Area Development

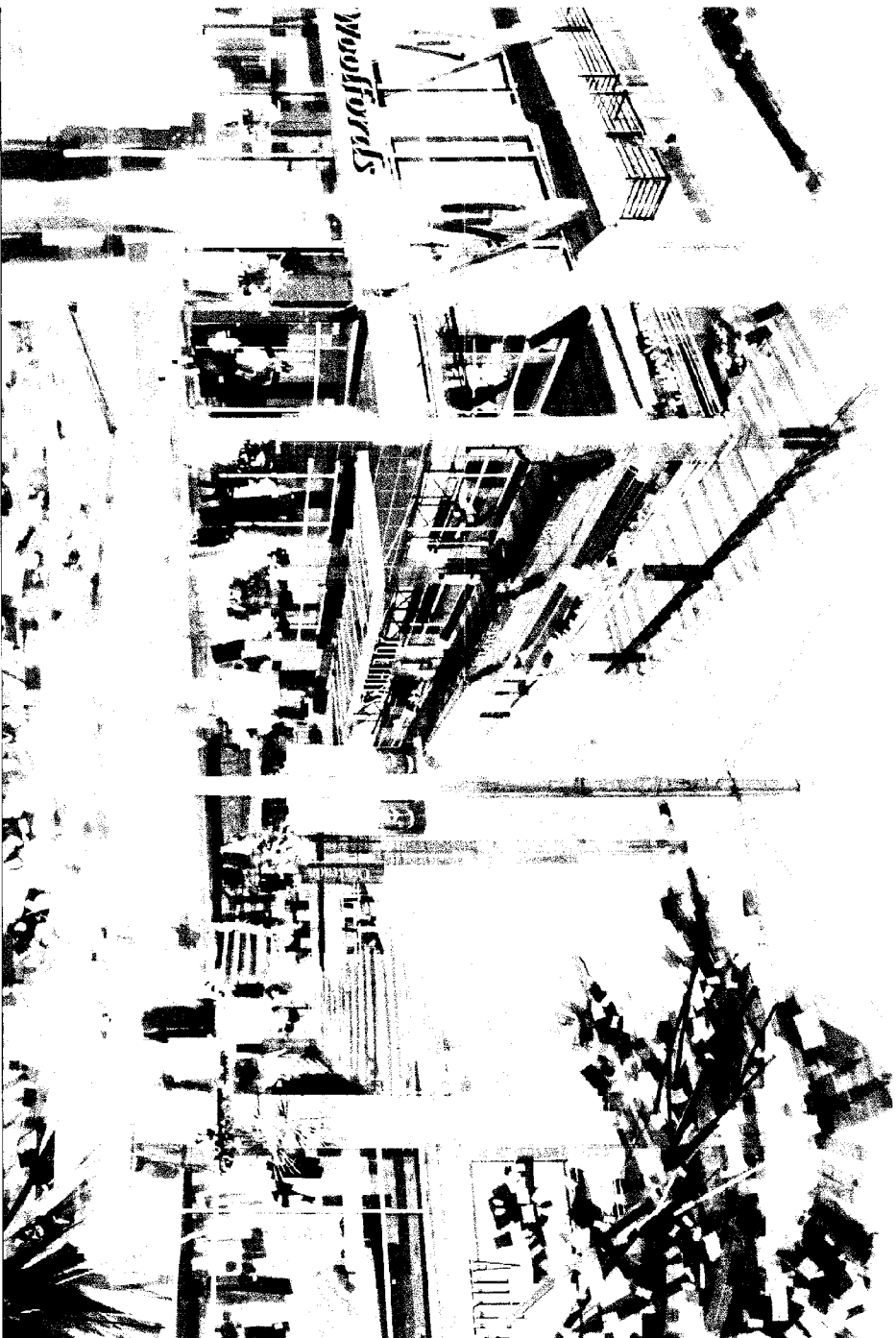
Exhibit 13 Retail Core Rendering

"The retail component of the Mixed-Use Entertainment District will include a mix of small and medium size users providing goods and services primarily on the ground floor. The shops will primarily face the internal streets and plaza areas to serve the projects residential, worker and visitor patrons. A total of 919,000 sq ft of retail space is anticipated."

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Planned Area Development

Exhibit 14 Main Plaza Rendering

"Centrada will utilize the hallmarks of city living that will include tree lined streets, small mini-parks, and plazas that provide inviting spaces for residents and visitors alike. While the plaza is intended to provide a meaningful space with a strong pedestrian corridor that encourages interaction and exploration through the site, it will also allow the opportunity for relaxation under a shady tree."



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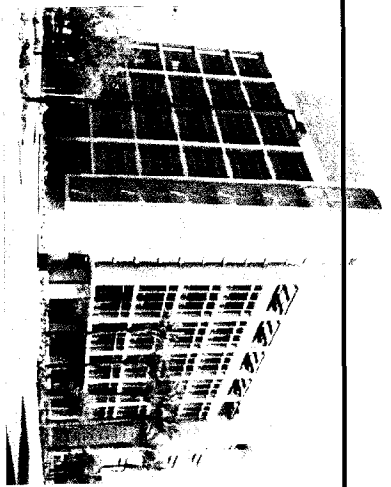
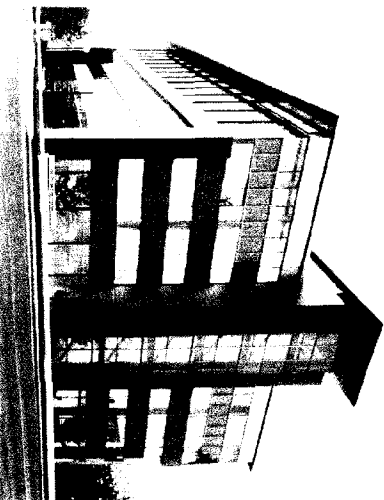
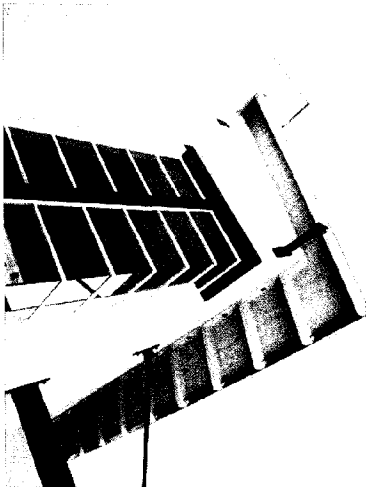
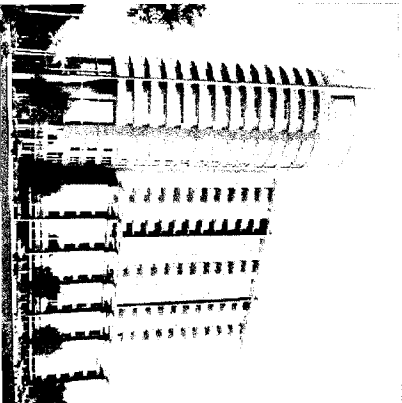
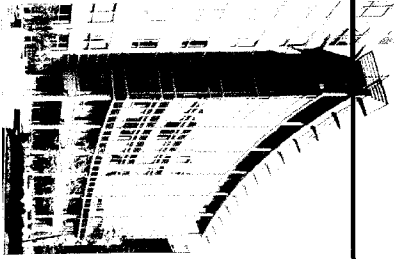
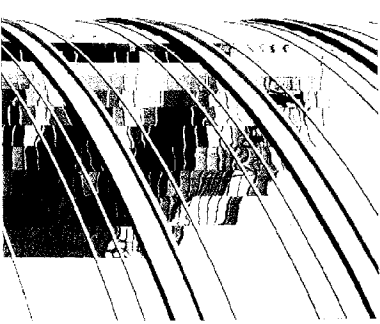
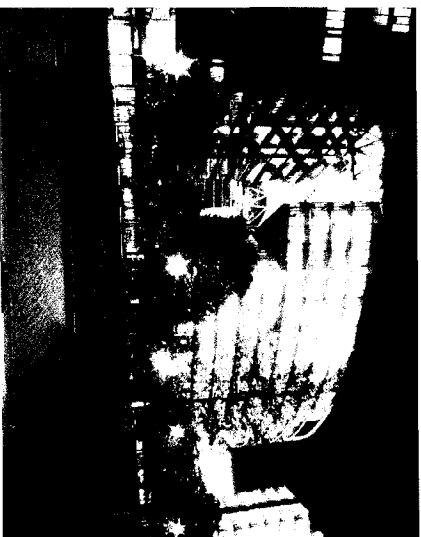


4.2.3 Employment District

The Employment District is planned primarily for office use with a limited amount of commercial and residential space. Located in the eastern area of the project site, this district captures the lowest development intensity of the three districts. *Building heights* and intensities were reduced intentionally to respect the existing development context. Recent trends indicate office tenants are looking for space that also provides amenities and on-site services for their employees and business clients, making mixed-use settings an ideal location for office uses. The plan currently anticipates providing approximately 1.9 million square feet of office space – clearly the dominant use within the overall project, with approximately 500,000 sq. ft. located in the Employment District. The majority of the space will be provided in freestanding office buildings, allowing tenants to achieve a strong corporate profile in a distinct building. Freestanding buildings will also allow for identification visibility along major roadways (Bethany Home Road and 91st Avenue) as this may be an attractive feature when naming rights of buildings are granted.

The Employment District also includes approximately 30,000 sq. ft. of commercial space intended for smaller retailers and service providers primarily to support the employment population of the district. However, this *retail* space has been located at the ground level of two buildings intended to provide a total of 84 residential units located above the commercial space and above-grade shared parking structures. These two buildings represent the only non-office uses within the Employment District.

The site has excellent exposure for business uses and essential existing vehicular access from the Loop 101 freeway at the Bethany Home Interchange. Furthermore, direct access to the site is available from 91st Avenue (major arterial) 95th Avenue, and Bethany Home Road (arterial) making the site ideal as a high quality mixed-use urban development. (See Exhibit 15, Employment District Architectural Character, and Exhibit 16, Employment District Rendering)



Centrada

Planned Area Development

Exhibit 15 Employment District Architectural Character

"The employment component of Centrada will include the development of Class A office space to offer a work environment conducive for both its residents as well as other tenants. A total of 497,000 sq ft of space is anticipated, with almost half programmed for Phase 1 development."

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Centrada

Planned Area Development

Exhibit 16 Employment District Rendering Looking Southwest

"Office and employment buildings will be primarily located adjacent to Bethany Home Road and 91st Avenue, to leverage visibility, direct access, and proximity to University of Phoenix Stadium and Westgate City Center for its prospective owners and tenants."

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4.3 SITE IMPROVEMENT PRINCIPLES

Located to the south of the Centrada project is an existing 80 acre residential subdivision (Pendergast West Estates) that dates back to the 1970s. Due to the sensitive nature of placing a more intense development adjacent to an existing *single-family* residential neighborhood, the plan proposes a large four (4) acre park to serve as a buffer and transition element between the Centrada planned area development and the existing neighborhood. The park will provide a significant recreational *open space* for residents and employees of the project as well as for others living in the area. The following design considerations apply to all land use categories. The considerations are intended as general statements aimed at setting forth the expectation of the developer, the City and the general public.

4.3.1 Open Spaces



- *Public open spaces* should be defined by buildings or landscape elements on a minimum of two sides.
- Public spaces should be publicly accessible during daylight hours and linked to adjacent streets and sidewalks.
- Gateways, trellises, special lighting, planting, etc., should be used to create a sequence for pedestrians; for example, an ornamental gate at the sidewalk, a passage lined with columns, and arrival at a courtyard.
- Water should be used as focal points and sound attenuation as well as ambiance.
- Other social zones should be specifically designed throughout the project that will include seating and tables for *outdoor dining/socializing*, reading and people watching. These zones are pleasant, inviting and exhibit a human scale that fosters 18-hour use.

4.3.2 Walls and Fences



- Walls and fences should be used to define public and private boundaries.
- Walls and fences should be compatible with the character of the principal building(s).
- Walls and fences should be open and/or low along street frontages to maintain both a public character and sight distance for driveways where they occur.
- Fence and wall panels should be divided into regular modules that reflect the module of the primary building.
- Thick and thin elements should be used with thicker pieces for supports and panel divisions. Fence posts and support columns should be emphasized and/or built up.

4.3.3 Paving Materials

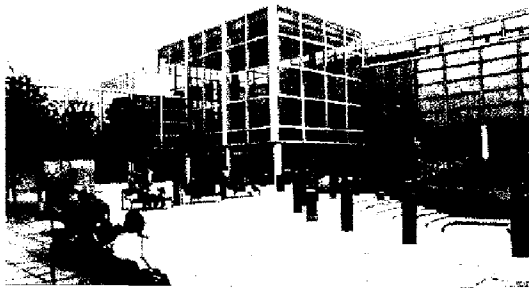
- Paving materials such as stone, brick pavers, concrete unit pavers, and poured-in-place concrete with special treatment should be used for pedestrian surfaces. Poured-in-place concrete should include any of the following treatments: integral pigment color, special aggregate, special scoring pattern, ornamental insets such as tile, and pattern-stamped.
- A pavement selection will be made to comprise the ground plane of the promenades, plazas, main street, park and perimeter sidewalks with one or more unifying elements.



4.3.4 Furnishings and Special Features

- Permanent outdoor seating is recommended in all publicly-accessible ways and spaces.
- When possible, seating should be incorporated as part of the design of the building base.

- Custom designed seating should be in a style related to the architecture of the building.
- Site furnishings, shade devices, water features and paving should be carefully designed in a cohesive manner to respond to the Sonoran Desert environment.



- Portable seating such as movable chairs, tables for cafes and other furniture should be of substantial materials; preferably metal or wood rather than plastic. Tables used for *outdoor dining* within the public right-of-way (i.e. sidewalk

areas) should be a maximum of three (3) feet in diameter if round and three (3) feet along the longest side if rectilinear.

- Street clocks, directory kiosks, and permanent showcase displays are encouraged for commercial and office buildings.
- Fountains or water elements are recommended in open courtyards, plazas, and passage space. The design and materials should be related to the principal building.

4.4 MISCELLANEOUS BUILDING CONSIDERATIONS

- Awnings are recommended. Fabric awnings should be mounted over a metal structure that is framed and attractive in design. Awning colors should complement base building colors.
- Trellises and canopies – materials, colors, and form should be derived from the building architecture.
- Trellises, canopies and awnings should be a minimum of seven (7) feet above the sidewalk, and project the width of the sidewalk.
- Accessories such as colorful lifestyle or advertisement banners should be used to add variety to the street. Ornamental sign brackets and/or banner poles add further interest. Hanging flower or plant baskets suspended from ornamental brackets of metal or wood are recommended for storefronts.



4.5 ARCHITECTURAL LIGHTING PRINCIPLES

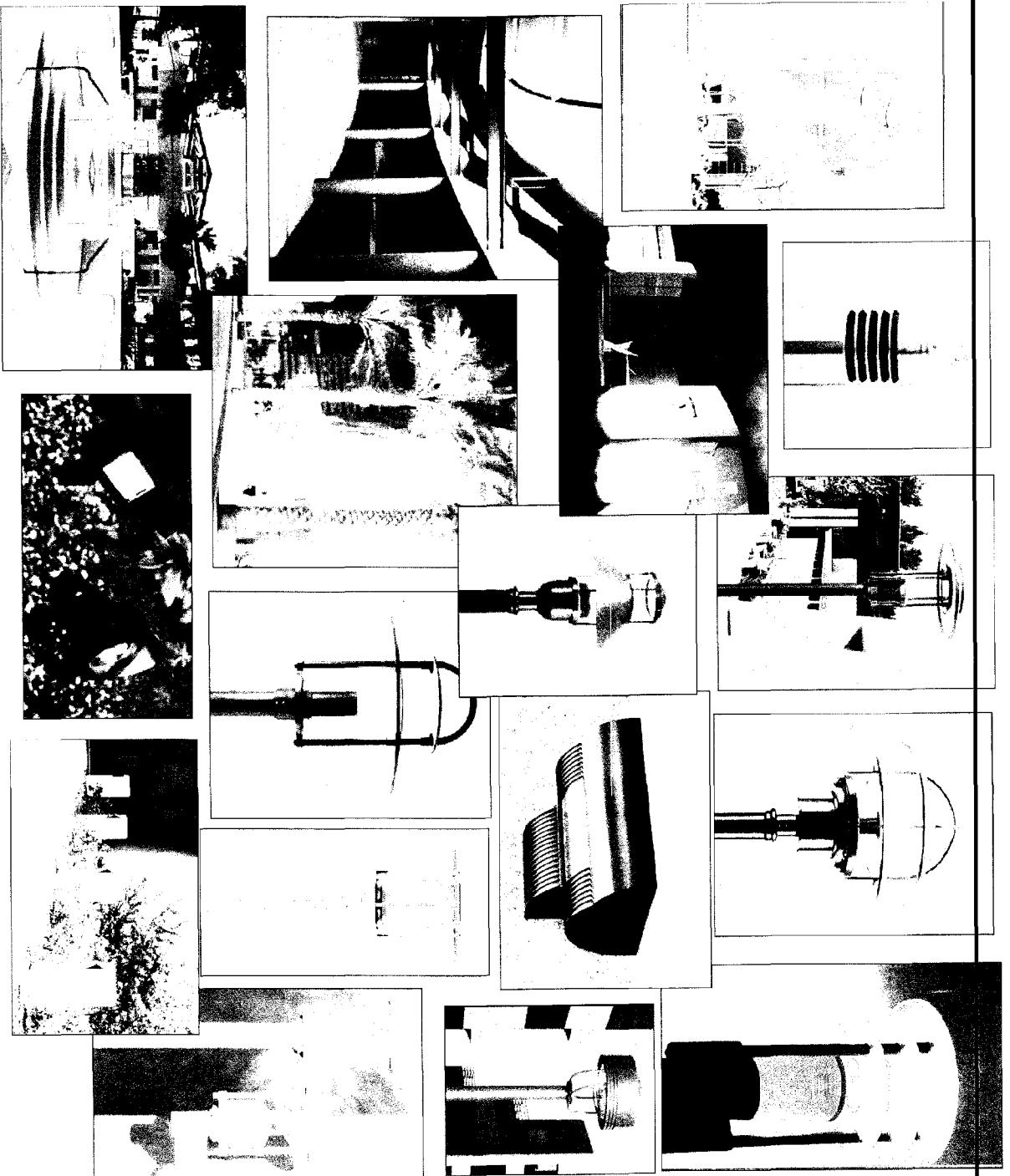
- Lighting fixtures shall be arranged and fully shielded to contain the spread of light on the site, avoiding reflection onto adjacent property and streets.
- Indirect light sources should be utilized for the illumination of buildings and architectural features. Architectural lighting that articulates buildings and provides functional lighting for safety and pedestrian areas is encouraged.
- Service areas should be illuminated with pole or wall mounted fixtures that project light downwards. Flood lights and wall-pack units are discouraged.
- Paved parking and pedestrian areas should maintain an illumination standard of 1.5 average foot-candles with a uniformity ratio of 12:1 maximum/minimum. Fixtures may be pole mounted at a maximum height of 20 feet. Illumination shall be provided with a maximum 175-watt metal halide lamp.
- Exposed neon or gaseous light tubing types and Tivoli lighting, are allowed in the Entertainment Mixed-Use District. This style of lighting will be subject to design review approvals for all other Districts. (See Exhibit 17, Lighting Character)



4.6 LANDSCAPE PRINCIPLES

- Plazas or promenades should be small semi-public spaces programmed for ideal activities such as outdoor craft shows, art shows, and small musical performances.
- The park should be a large semi-public area designed for larger public gatherings such as concerts, arts and craft fairs, culinary events, active recreation and dog walks.
- Street trees (identified from the City's Approved List of drought tolerant species) shall be planted on both sides of the streets to create shade, color, a *pedestrian scale*, and an inviting shopping/dining experience. Consistency in tree species, tree size, and spacing should be used to establish a cohesive street identity.
- Trees with open branching structures should be used. Trees that minimize seasonal litter (i.e. leaves, flowers, etc.) and are of "thornless" varieties are recommended.
- Trees, shrubs and groundcover that exhibit annual or seasonal color, and smell are recommended to highlight special locations; e.g. flanking main project entries, pedestrian ways, and social interaction zones.

- Decorative vines should be considered for use (with trellises or attachments) on *screen walls*, building faces, tree trunks (i.e. palms), and trained on ornamental trellises or arches that enhance building entries and/or screen outdoor social areas.
- Street trees should be planted along all streets at a spacing of approximately twenty-five (25) feet on center to create a buffer between pedestrians and automobiles. Consistency in tree species, tree size, and spacing should be used to establish a strong street identity.
- Deciduous trees are recommended to create shade in summer and allow sun in winter.
- Decorative vines should be considered for use along fences, property boundaries, perimeter walls, and on blank building elevations.
(See Exhibit 18, Urban Landscape Character)



Centrada

Pierhead Area Development

Exhibit 17

Lighting Character

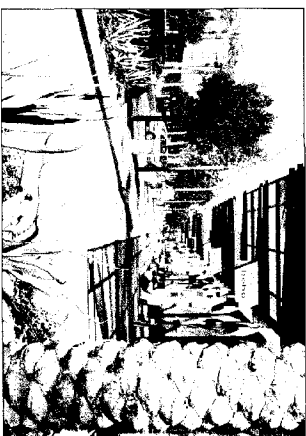
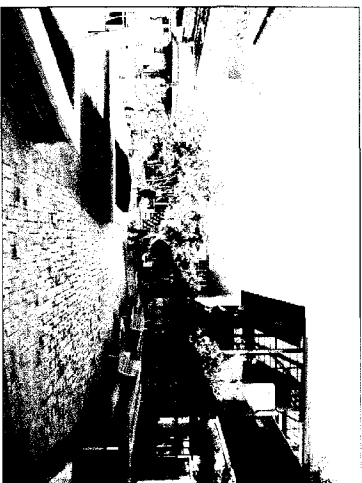
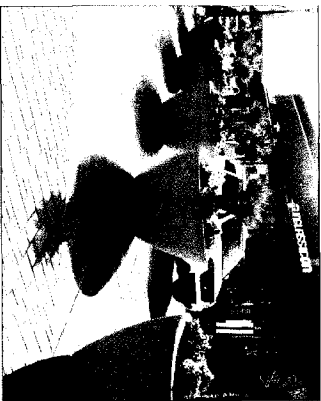
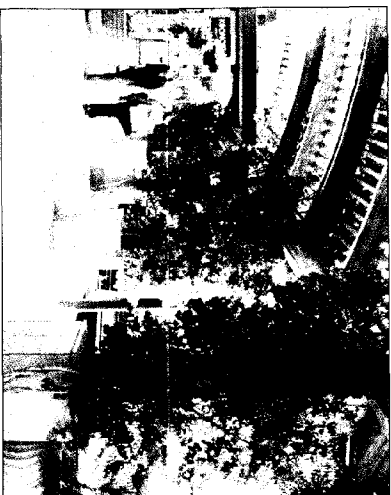
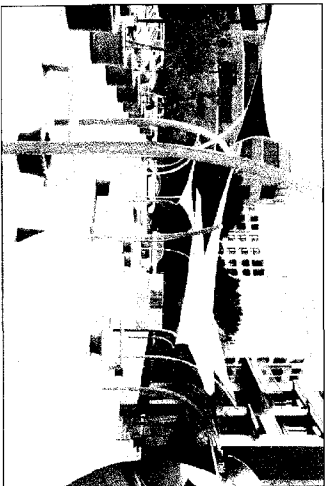
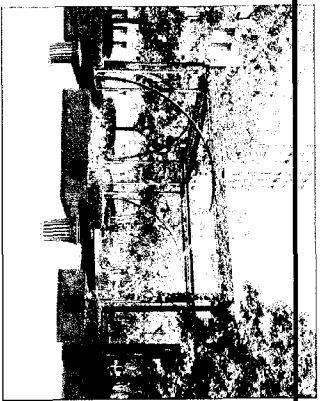
"Lighting will complement Centrada's form and scale by appropriately illuminating buildings, walkways, and landscape. The illumination will greatly influence the image, impression and visibility of Centrada as an active and prosperous place where people live, work and play."

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Centrada

Planned Area Development

Exhibit 18

Urban Landscape Character

"The urban landscape should further enhance the pedestrian environment, as well as ensure the adequate and strategic placement of walkways and walkway widths. Planting features, shade trees and shading devices, paving materials, outdoor furniture, lighting fixtures and water elements should contribute to the pedestrian comfort and experience of the project."

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4.7 CIRCULATION PRINCIPLES

- A transit stop may be located along the northern perimeter of the property (central to the Mixed Use Entertainment District) if Valley Metro considers and implements the extension of light rail to the Glendale Sports and Entertainment District or other form of public transit is provided on Bethany Home Road.
- Transit stops may be located along 93rd Avenue (Montebello) if rubber tire trolley or other form of local transit system is implemented as part of a Glendale Sports and Entertainment District people mover system.
- The inclusion of bike racks should be located proximate to the primary entry of each building in visible, yet partially screened locations.
- The development should consider providing connections to the planned shared use path, envisioned on the Glendale General Plan as a path on the north side of Bethany Home Road between 83rd Avenue and New River, where the path would then connect with the regional West Valley Corridor.

4.8 SCREENING AND PARTITION PRINCIPLES

- All mechanical units located on top of buildings should be screened from public view using roof forms or building architecture.
- Where roof decks and/or mechanical units are visible from adjacent buildings within *Centrada*, they should be painted to match the finish roof material.
- The service area for each building should be visually screened with walls and fences and softened with landscaping.
- Dumpster and/or roll off units for solid waste are to be screened with concrete masonry units or satisfactory alternative material, landscaped and gated (painted same color as masonry wall).
- In social zones (i.e. outdoor cafes, bistros, etc) ornamental or wrought iron may be used to create a low fence, protecting a seating zone from pedestrian traffic. The fencing may be painted black or the same color as the building where it is attached.

4.9 SUSTAINABILITY PRINCIPLES

- Buildings should be designed to respond to the harsh southwest climate by incorporating materials and design methods suitable for the region.
- Orientation of buildings shall recognize the value of human comfort zones surrounding buildings with appropriate landscaping and shading.





- Orientation of buildings and fenestration design shall strive for maximum solar benefits while minimizing the negative impacts of heat gain.
- Project construction over the phased years shall incorporate on-going progress in state-of-the-art thinking in sustainable building methods and products.
- Solar collection technologies for providing and storing energy as well as heated water systems for individual buildings are encouraged to be researched and implemented for use within Centrada.
- Designers shall strive to reduce project energy loads by addressing passive design elements (i.e. daylight, natural ventilation, material solar mass properties) and active design elements (i.e. environmental conditioning methods, radiant heating & cooling, shared building systems).
- Designers shall strive for effective water usage and conservation methods in buildings by utilizing low-flow plumbing fixtures, energy efficient appliances and HVAC systems utilizing minimal amounts of process water.

The "Leadership in Energy and Environmental Design" (LEED) Green Building Rating System is presently a voluntary standard for developing high-performance, sustainable buildings. Developers of Centrada are strongly encouraged to incorporate current LEED standards for New Commercial Construction (LEED-NC) as well as Neighborhood Developments (LEED-ND) within the project. Key project areas to be reviewed in accordance with a LEED building certification include Water Efficiency, Energy and Atmosphere, Materials and Resources, Indoor Environmental Quality and Design Innovation. A number of cities in the western United States have adopted local green building guidelines and the trend is expected to continue at a growing rate. Centrada should be a development that recognizes this trend to formulate design goals and a basis of methodology for building elements and environmental systems.



4.10 LIFE SAFETY PRINCIPLES

At this time the *Centrada* Master Plan has been designed conceptually. In the future, as tenants/end users, become interested in developing the site, detailed site plans will be submitted to the city for review through the development review process. It is the intention of this PAD to address perimeter protection measures, as well as, building components that plan for total building safety. This section of the PUD is intended to set forth guiding principles that is intended to assist city staff during the review process to ensure building safety measures are implemented.

Site Requirements

Site Plans submitted to the City of Glendale should demonstrate an integrated design that demonstrates access, suppression, and separation distances and site/building security.

Fire Department Access

- Design buildings with uncomplicated layouts that enable firefighters to locate an area quickly.
- Provide rapid access to various features such as fire department connections (FDC's), hose valves, elevators and stairs, annunciators, key boxes, etc.
- Accommodate the access of fire apparatus into and around the building site. Fire Department access to the site and equipment staging locations will be evaluated and must comply with the current codes and ordinance the City of Glendale has adopted for each building pad when each pad is submitted to the City of Glendale for review and approval.

Building Construction Requirements

- All buildings will be protected by an automatic fire sprinkler system. The appropriate National Fire Protection Association standards will be used for the design, installation, and testing based on a hazard analysis, the availability/adequacy of the water supply and other factors for each building as outlined in the State of Arizona Board of Technical Registration Substantive Policy Statement for fire sprinklers and fire alarm systems and the City of Glendale Fire and Building Code. Please note that when construction drawings are submitted to the City, the design, installation and testing for the automatic fire sprinkler system will be based on the most current codes and ordinances the City of Glendale has adopted.
- Additional fire protection systems for individual buildings, such as Fire Department standpipe connections, audible and visual fire alarm systems, firefighter air breathing systems and fire hydrants may be installed as required based on the *building height or depth of underground structures*, occupancies and other factors based on the most current code the City of Glendale has adopted.

Centrada

Planned Area Development

Exhibit 19 Emergency Response Analysis

- Legend**
- Emergency Vehicle Minimum Turn Radius Required (32.5' R. Inside, 52.5' R. Outside)
 - Emergency Vehicle Staging Area (Off-Street)
 - Conceptual Fire Hydrant Location

SCALE: NOT TO SCALE

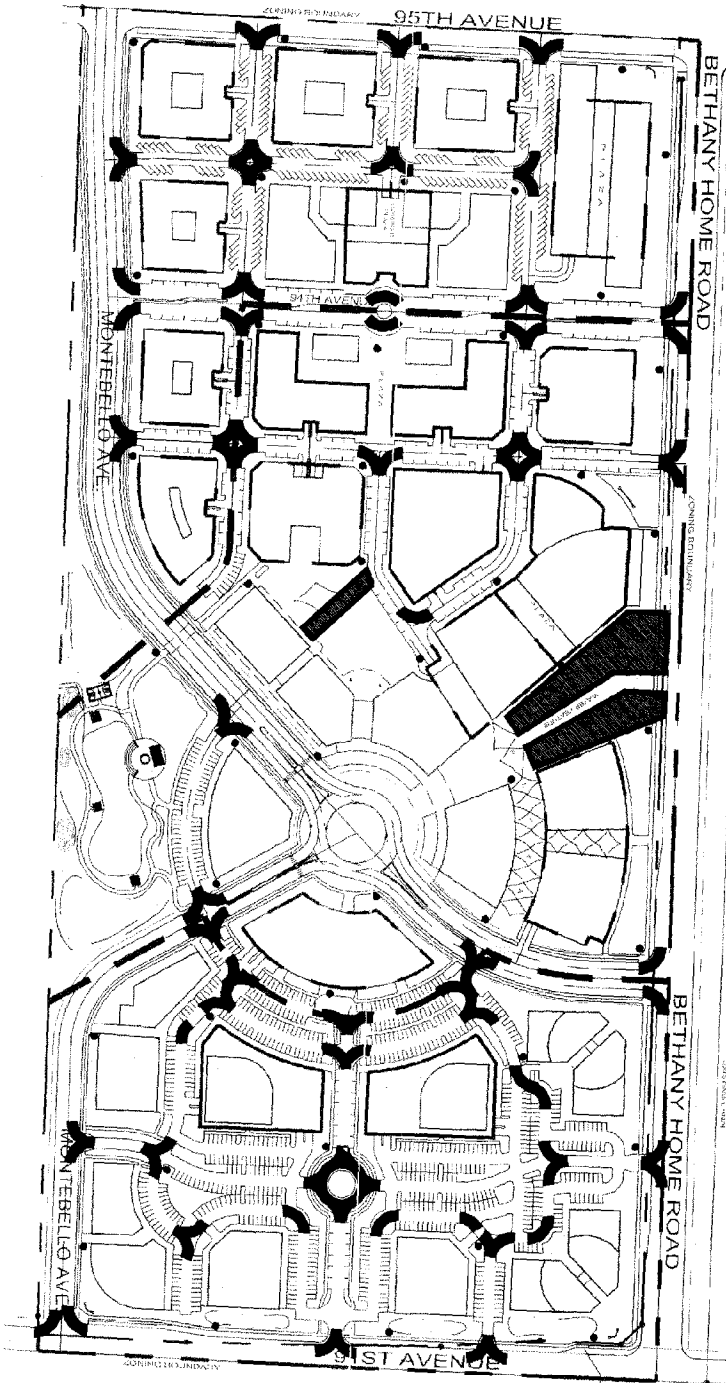
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4.11 REFUSE COLLECTION PRINCIPLES

As a dense urban, mixed-use project, Centrada's approximately 6.2 million square feet of building space will generate a significant volume, and wide variety of waste products. The traditional provision of waste dumpsters scattered about back parking lots will not suffice for a project of this type, and a much more organized program will be required. There are a number of challenges:

- Due to the density of development proposed, there are limited opportunities to position traditional waste dumpsters and enclosures about the site.
- The internal streets, are intended to be rich pedestrian environments, articulated with enhanced landscaping, hardscape and site furnishings, and are lined with on-street parking spaces – an environment not conducive to frequent waste and disposal truck routing.
- The many uses planned for this site will generate a variety of waste types, including wet waste from restaurants, and various forms of dry waste, which will be separated for recycling. In a manner consistent with City of Glendale current solid waste requirements.

CENTRADA WASTE REMOVAL CONCEPT:

- Each commercial and office building will include a service suite at the street level, which will provide an enclosed space to receive deliveries, as well as provide a central waste collection space for that building.
- Multi-floor residential units are encouraged to design conveniently located community trash shoots above enclosed service room of waste receptacle staging areas.
- The Property Owner Association will be responsible to place central waste collectors within areas designated as pick up areas.
- The developer may choose to provide containers in the central waste collection space for wet waste, as well as containers for pre-sorted recyclable dry waste.
- At their discretion, each tenant may be given the responsibility to sort their recyclable waste, and to deposit all their waste into the correct central collection bins in the service room.
- Specific locations of the collection bins will be specifically identified as the building phases and individual building construction plans are developed.



4.12 DESIGN GUIDELINES PREPARATION, REVIEW AND ADMINISTRATION

While the design considerations presented previously provide a general overview of the design intent for *Centrada*, this section only provides a framework to illustrate and define common design objectives for a unified, harmonious mixed use project. These general design considerations set the intended development tone for a highly urbanized village that could ultimately include multiple property owners, and potentially numerous design teams, builders, and tenants.

It should be noted that compliance with these, and the forthcoming specific guidelines, does not ensure or imply acceptance or approval by the City of Glendale. Local standards shall prevail regarding issues not specifically addressed in these or the specific guidelines that will be prepared upon approval of the *Centrada* PAD. Further, the applicant will be required to comply with procedure as set forth in Section 3.600 Design Review, of the *Glendale Zoning Ordinance*.

The preparation of detailed development guidelines will be authorized by the covenants, conditions, and restrictions (CC & R's). Preparation and approval of the design guidelines will be undertaken and completed by the Master Developer prior to the first request for *site plan* review and granting of *building permits* by the City of Glendale. In this manner, a specific design parameter can be established and readily communicated from the first to the last design and development project undertaken within *Centrada*.

4.13 DESIGN GUIDELINES AMENDMENT PROCESS

Once prepared and adopted, the design guidelines may benefit from amendments to resolve an unforeseen, new or evolving issue in a high quality manner. Amendments to the specific design guidelines may be brought forth by any party requesting the amendment. The burden to demonstrate why an amendment should be approved rests entirely upon the *applicant*. A formal *application* must be submitted to the *Centrada* Design Review Committee including the following information:

- Completion of the *application* form (general/contact information)
- Specific guideline(s) proposed for amendment or augmenting the existing document
- Why the DRC should consider the amendment
- Why the proposed amendment will benefit the specific project as well as the future design and development within *Centrada*
- Proposed text and/or sketch change to the existing document

Upon receipt of the *application* and all supporting information, the DRC will determine if the submittal is complete. When so determined, the item will be placed on the next DRC agenda. The *applicant* is highly encouraged to attend the meeting to provide information and answer questions. The DRC will consider the amendment and vote after all pertinent testimony/documentation has been presented. A simple majority shall be



used to render a decision and all decisions are final. No appeals will be granted.



#5

5. MASTER PLAN

5.1 PURPOSE AND INTENT

The PAD zoning district accommodates mixed use development which combines residential and nonresidential land uses through common design elements. The PAD promotes flexibility and encourages variations in building design, lot arrangement, circulation patterns, and land uses. Further, it is the intent of the PAD district to:

- Encourage creative and effective use of land and circulation systems to accommodate changes in land development technologies.
- Encourage residential development to provide a mixture of housing types and designs.
- Encourage innovative development concepts for all land use types to provide a greater variety and intensity of uses.
- Provide a process which relates the urban design and scale of project to the unique characteristics of the site.
- Require the nature and intensity of development to be supported by adequate utilities, transportation, drainage, and common *open spaces* to serve the development and to minimize impacts on existing or future adjacent development.
- Encourage development that is consistent with the policies and the guidelines established in any specific plan and the *General Plan*.

#5.2



5.2 MASTER DEVELOPMENT PLAN

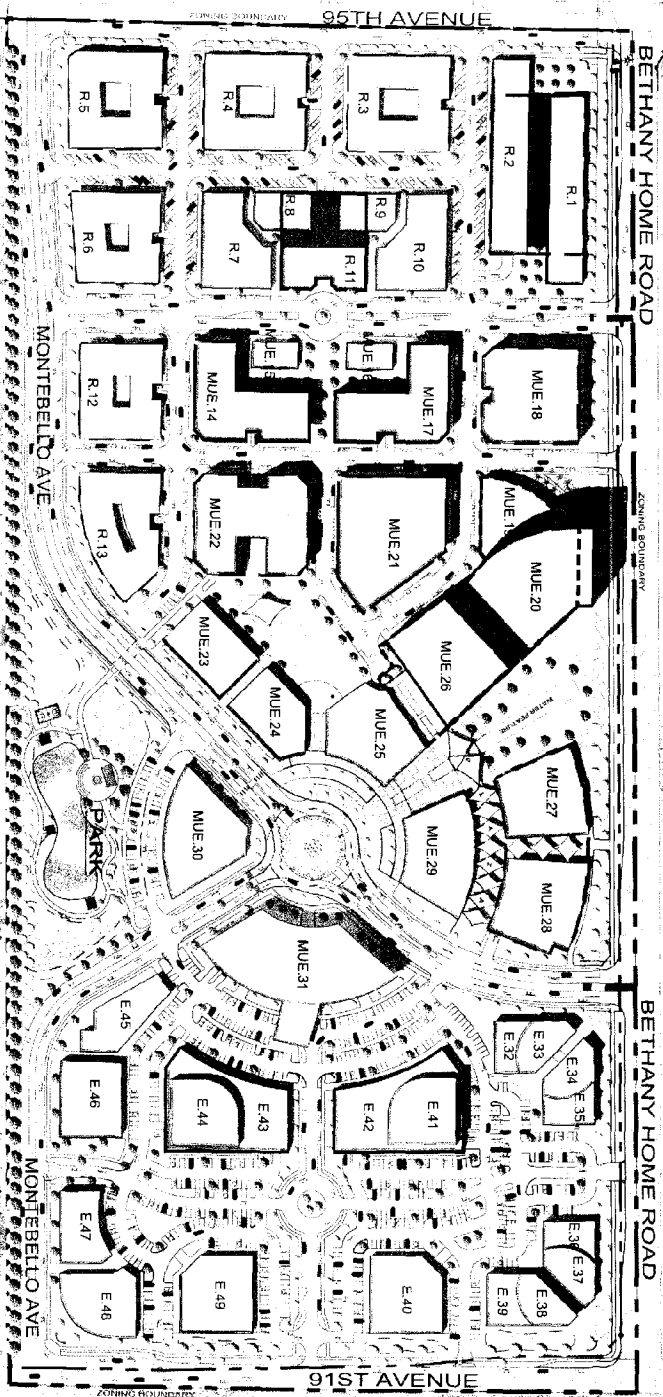
It is the *applicant's* intent to create an active and vibrant urban space – traditionally found in downtowns. This 75.12 acre parcel is designed to be an integral part of the West Valley's primary business, entertainment, *retail*, and urban residential hub. The proposed development will include 6.2 million square feet of *retail*, office, restaurants, *hotel*, and residential. The site can be categorized into three distinct districts: Residential, Mixed-Use Entertainment, and Employment (See Exhibit 19, Illustrative Land Use Master Plan). The Land Use Master Plan includes the mix of appropriate uses within each District and a potential development totaling:

- 1,000 *dwelling units*
- 492,000 square feet of commercial space
- 660 *hotel* rooms
- 1.9 million square feet of office space
- 8,900 parking spaces (approximate number)

Note: The commercial, office square footage, *residential dwelling units*, and/or *hotel* rooms site placement and configuration could be subject to change, based on future primary and secondary trade area conditions, infrastructure timing and financial market access. This PAD will maintain proportional relationships of residential, office, retail and hospitality land uses.

Bethany Home Outfall Channel

Grand Canal



Pendergast West

Centrada

Planned Area Development

Exhibit 20

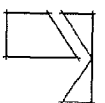
Illustrative Land Use Master Plan

Legend

Residential (R) District	
460 Dwelling Units	Parking Required 1376
693,921 S.F. Residential	Parking Provided 1530
105,914 S.F. Office	Gross Acres 21.22
81,443 S.F. Commercial	FAR 1.17
Total: 1,065,178 S.F.	
Mixed Use Entertainment (MUE) District	
450 Dwelling Units	Parking Required 7,801
927,518 S.F. Residential	Parking Provided 5,788
1,266,405 S.F. Office	Gross Acres 32.12
381,361 S.F. Commercial	FAR 2.5
930,351 S.F. Hotel	
Total: 3,505,634 S.F.	
Employment (E) District	
84 Dwelling Units	Parking Required 1901
128,040 S.F. Residential	Parking Provided 1446
496,933 S.F. Office	Gross Acres 21.78
29,702 S.F. Commercial	FAR 0.69
Total: 654,675 S.F.	
Gross Site Acres 75.12	
Project FAR: 1.6	

SCALE: NOT TO SCALE

NORTH



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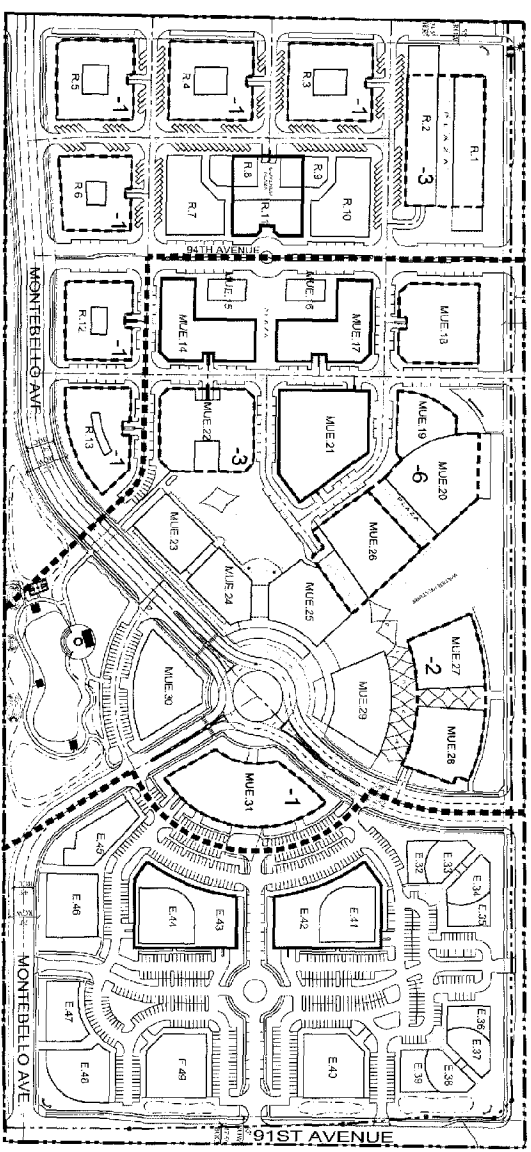
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Centrada

Planned Area Development

Below Grade
(L-6) - (L-1)



Level 1
(L1)

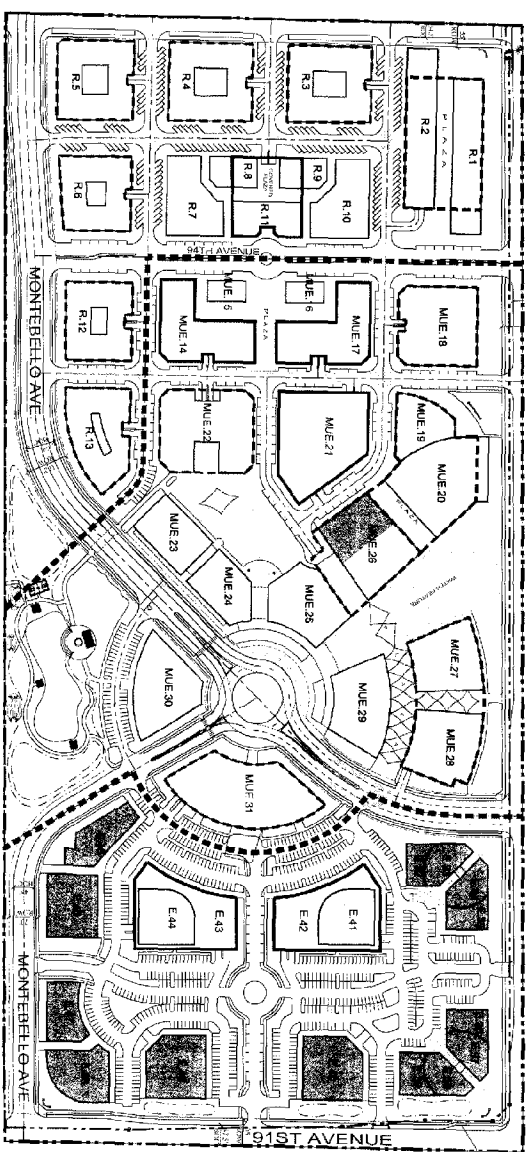
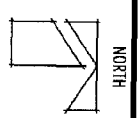


Exhibit 20a
Land Use Plan - By Level
Below Grade - Level 1

- Legend**
- Residential
 - Commercial
 - Office
 - Parking
 - Hotel

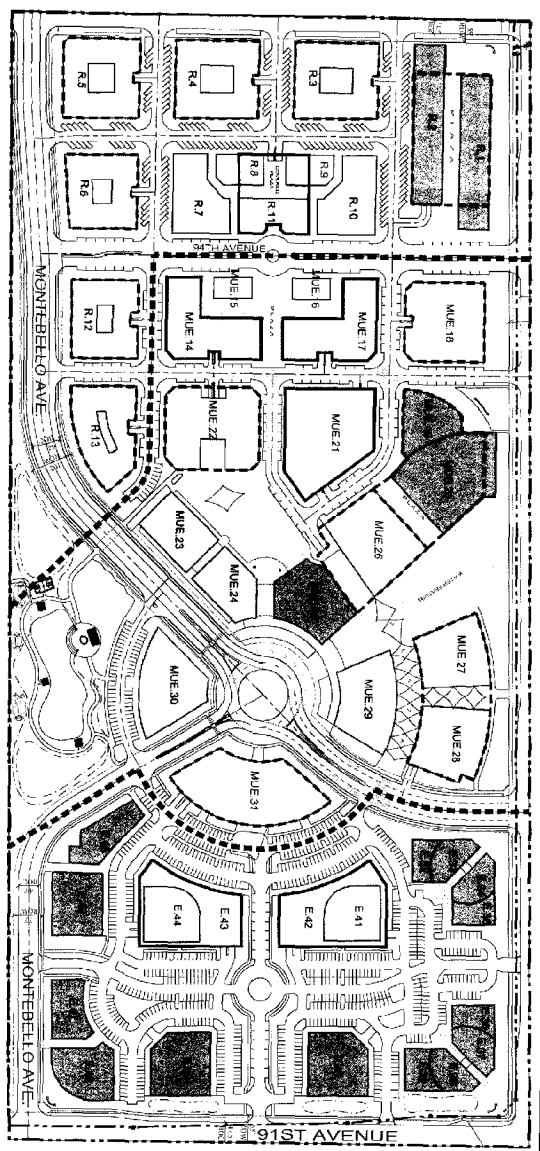
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Level 2
(L2)



Level 3
(L3)

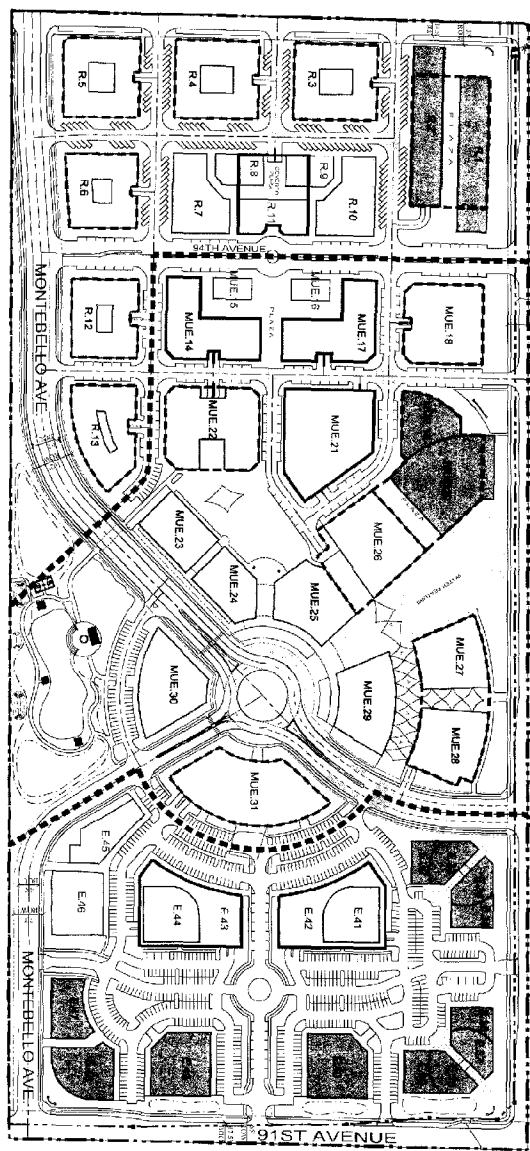


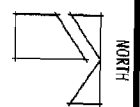
Exhibit 20b

Land Use Plan - By Level

Level 2 - Level 3

- Legend**
- Residential
 - Commercial
 - Office
 - Parking
 - Hotel

SCALE: NOT TO SCALE



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Centrada

Premised Area Development

Exhibit 20c

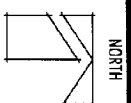
Land Use Plan - By Level

Level 4 - Level 6

Legend

- Residential
- Commercial
- Office
- Parking
- Hotel

SCALE: NOT TO SCALE

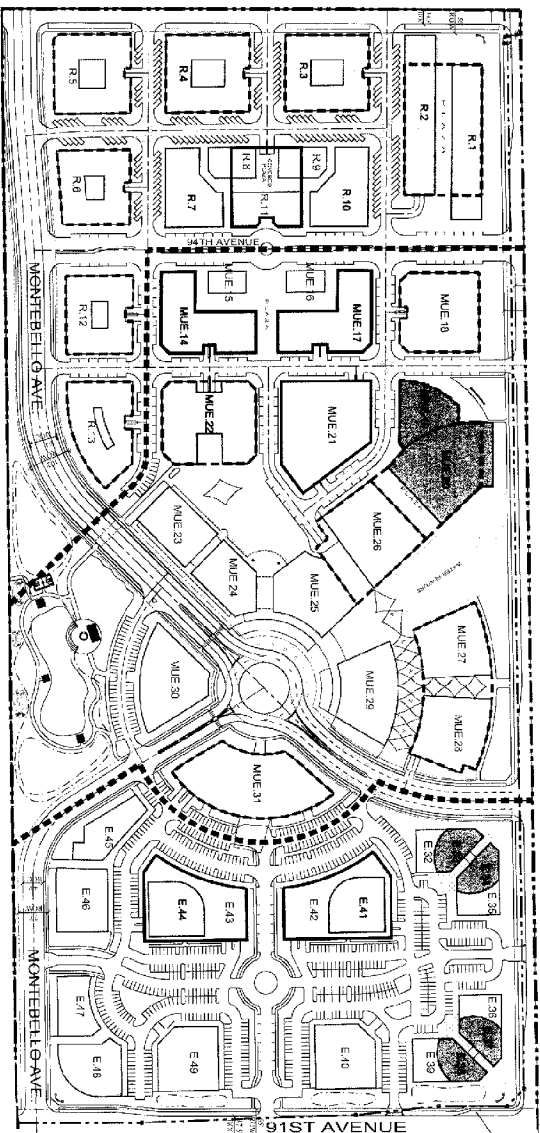


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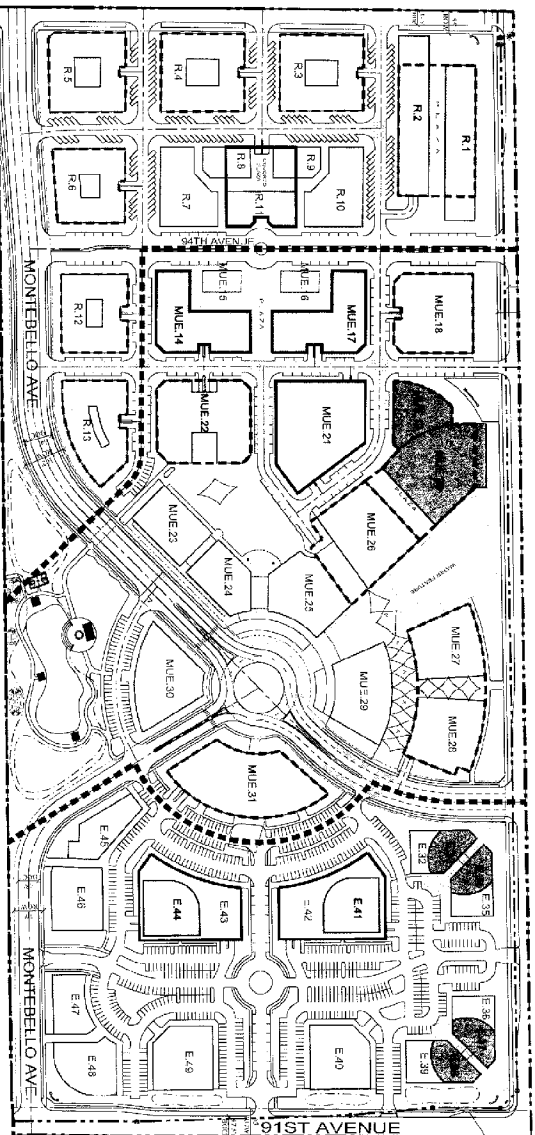
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Level 4 (L4)



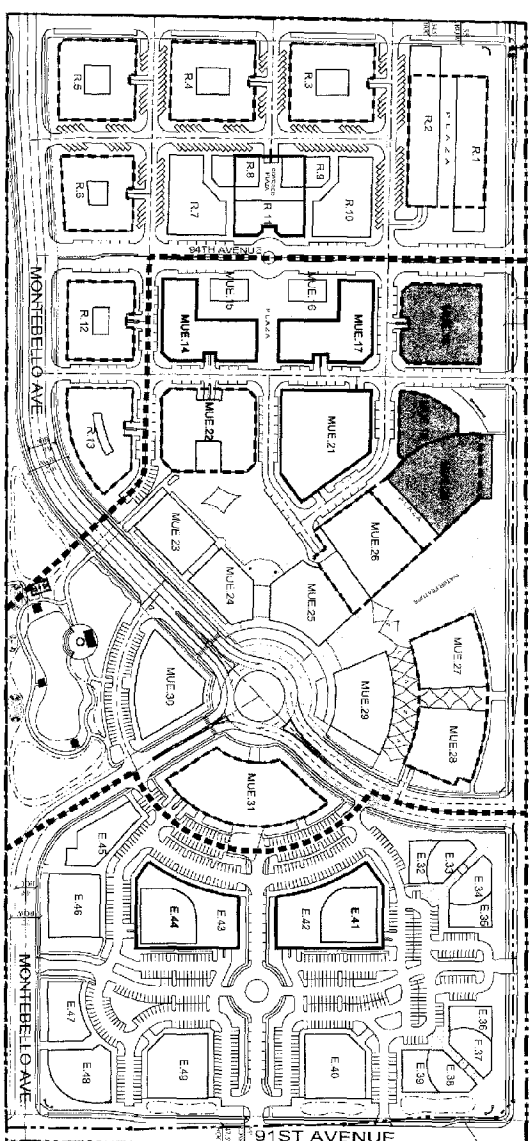
Level 5-6 (L5 - L6)



Centrada

Planned Area Development

Level 7
(L7)



Level 8
(L8)

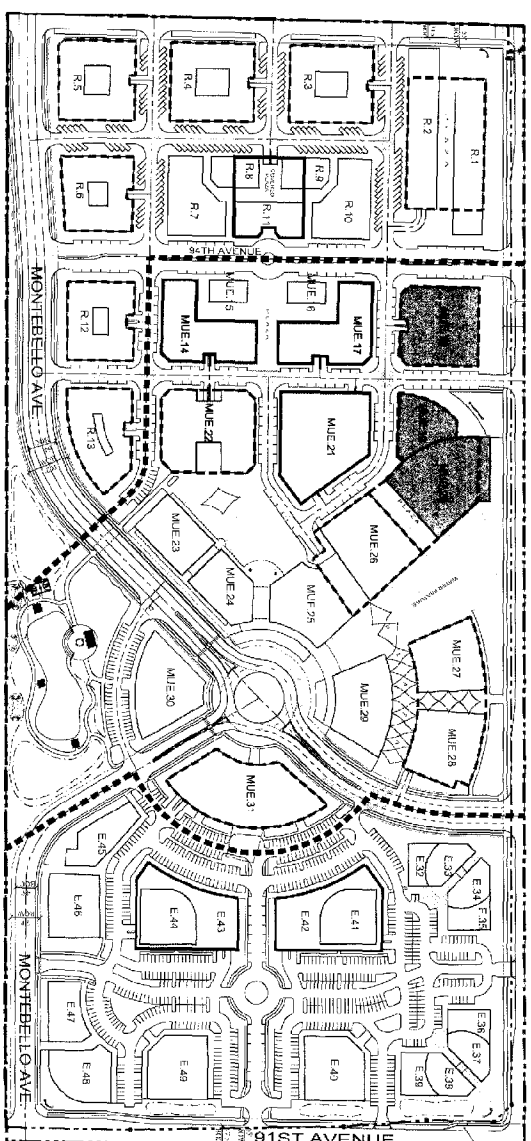


Exhibit 20d
Land Use Plan - By Level
Level 7 - Level 8

- Legend**
- Residential
 - Office
 - Commercial
 - Parking
 - Hotel

SCALE: NOT TO SCALE

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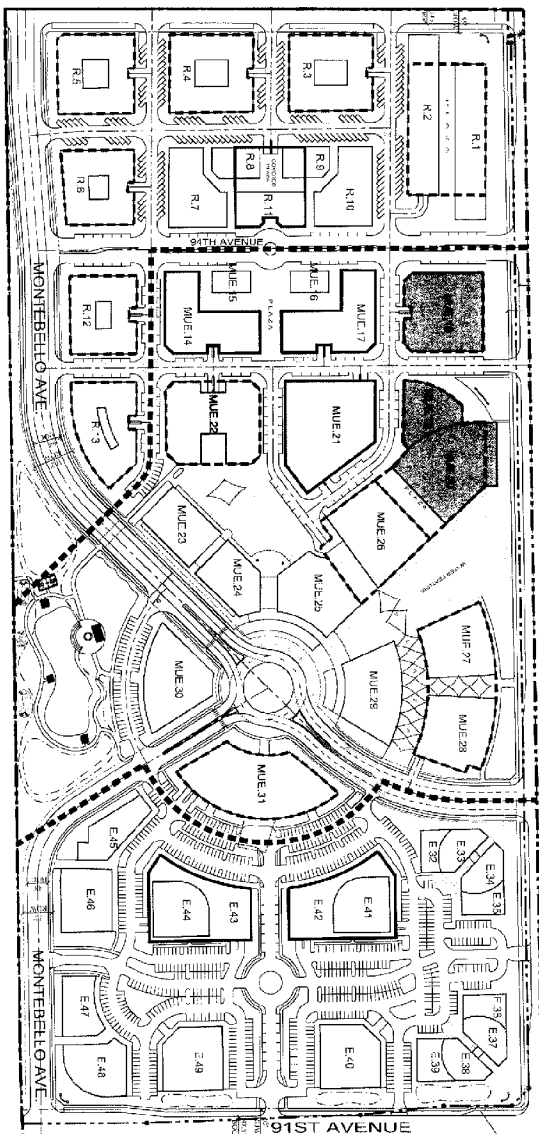
Planned Area Development

Exhibit 20c

Land Use Map Level 9 - Level 11

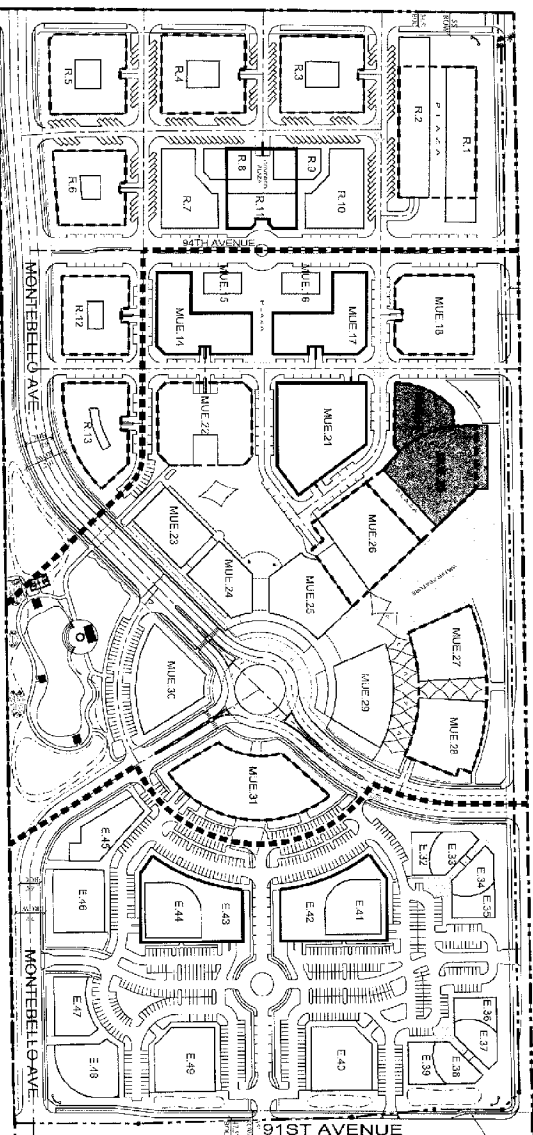
Legend

-  Residential
-  Commercial
-  Office
-  Parking
-  Hotel



Level 9-10
(L9) - (L-10)

Level 11
(L11)



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Centrada

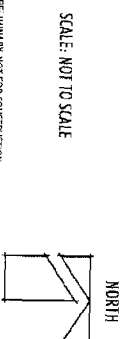
Planned Area Development

Exhibit 20f

Land Use Plan - By Level

Level 12 - Level 16

- Legend**
- Residential
 - Commercial
 - Office
 - Parking
 - Hotel



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CENTRADA AREA DEVELOPMENT, LLC

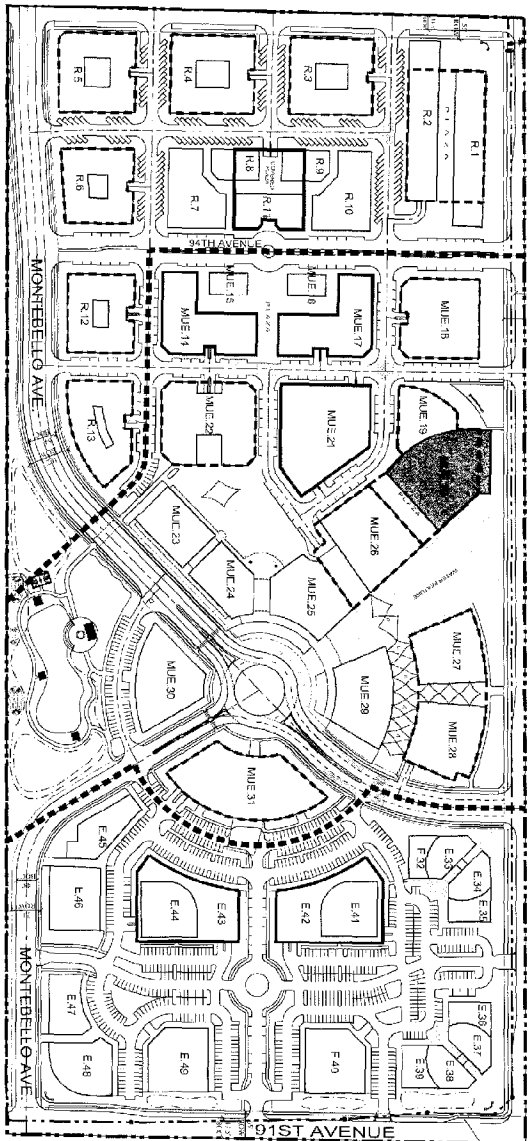
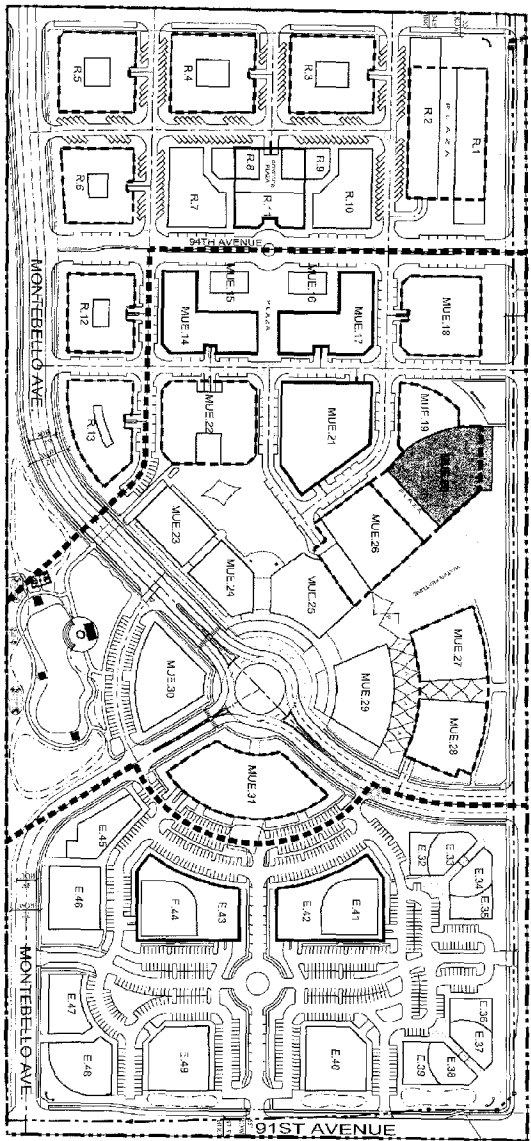
Date: 5/20/2008

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Centrada

Planned Area Development

Exhibit 20g

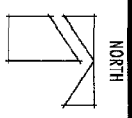
Land Use Plan - By Level

Level 17 - Level 25

Legend

- Residential
- Commercial
- Office
- Parking
- Hotel

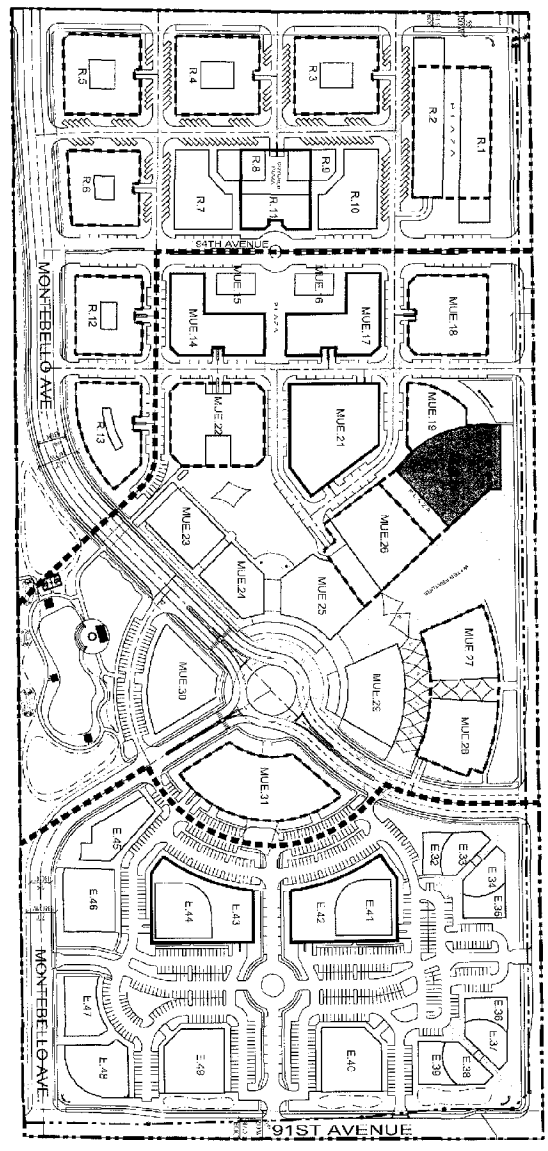
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Level 17 - 25
 (L17 - L25)





A summary of each District is presented below and quantified in Tables 1, 2, and 3, Residential District, Mixed-Use Entertainment District and Employment District Land Use Master Plan Data. The combination of these districts integrates and supports an environment of intensive land uses with uninterrupted pedestrian connections organized around streets, parks, and plazas.

5.2.1 Residential District Land Use Plan (R)

The Residential District within *Centrada* will provide the critical mass needed to sustain round-the-clock activity required for a successful mixed-use project. Careful attention has been given to the residential uses, which will produce an environment that provides residential tenants the convenience of a mixed-use project, and at the same time enough separation in order to allow for privacy and security.

The Residential District primarily offers loft and condominium units within thirteen (13) individual buildings. While most buildings in this District primarily support residential uses, five (5) of the buildings have been designed to accommodate *retail* and office use at the ground floor. At build out the District could support approximately 465 *dwelling units*, 106,000 square feet of office, and 81,000 square feet of commercial space.

Recognizing the existing *single-family* neighborhood immediately to the south of the Residential District, *building heights* decrease along this boundary to minimize future view impacts and nuisance on the existing homes. Planned to occur in the earlier phases of *Centrada*, the Residential District should be recognized as the catalyst for the project's long-term success.

5.2.2 Mixed-Use Entertainment District Land Use Plan (MUE)

The Mixed-Use Entertainment District is the heart of *Centrada*. This District fosters a mix of all land uses within 18 buildings to complete the synergy necessary to make the project work. While *retail* will be a predominant use at the ground level, office, residential and *hotel* all benefit due to the convenient location of the substantial *retail* component.

The Mixed-Use Entertainment District includes two (2) *hotels*, each with the ability to provide 300 or more rooms. The *Hotel* uses enhance the project by providing 24-hour vitality, attracting people and groups throughout the day and evening. The *hotels* will also provide dining, entertainment, recreation, and other amenities that serve not only the

hotel guests but also the office and residential tenants. Approximately 930,000 square feet is planned for *hotel* use.



The commercial component of the MUE District will include a mix of small and medium size users providing goods and services primarily on the ground floor of the 18 buildings. These uses will primarily face the internal streets and plaza areas to serve the project's residential, worker and visitor patrons. Approximately 380,000 square feet of commercial space is anticipated.

Office space within the MUE District is programmed for approximately 1.26 million square feet. The majority of the office square feet will occur in Building 20 – Centrada's "signature" 25 story office building located on Bethany Home Road adjacent to the Stadium. While the overall character of Centrada provides a balance of uses, the signature building will most likely appeal to a large tenant who wants a strong corporate profile in a distinct building with a key interest in establishing a headquarters in the West Valley.

The residential uses in the MUE District are located in ten (10) different buildings. All of the residential units in the MUE District will be placed over *retail* or office use. When the residential uses occur in a three (3) story building the *dwelling units* will occupy the second and third floors. This configuration also lends itself to live/work units which allow the tenant of the commercial/office space to live in the unit above the business. A total of 450 *dwelling units* are planned for the MUE District.

Even though vehicle parking is not a land use in the traditional sense of a master plan, a mixed use project with an urban theme could not be a reality unless structured parking was carefully integrated into the project in a sensitive manner. Centrada has provided parking throughout the entire project, with the exception of Building 21 (which provides for 10 levels of parking within the MUE District) parking is typically below grade and provided on the first 1-2 floors of the buildings. Commercial uses are planned to "wrap" the parking structures at the ground level in order to mitigate the blank façade that is often a product of the parking structure. An approximate total of 8,900 parking spaces are programmed to serve the land uses at build out, and will be a component of all twelve phases of the project.

Key design components of Centrada focus on the pedestrian elements, including the plazas and park areas, the majority of which are all located in the MUE District. Within the "core" commercial and *retail* area of the MUE District, a free-flowing feeling of connectivity is encouraged to promote pedestrian circulation and discovery of the internalized *retail* experience. A series of key plaza areas are connected



In the core area to create this atmosphere. *Hardscape* plaza areas of the MUE District are also envisioned to accommodate gatherings and special programmed events for the public.

To complement the significant *hardscape* plaza areas proposed in the MUE District, a lawn Amphitheatre/Pavilion element has also been included. Surrounded by *retail*, residential and office uses, the lawn area provides a *softscape* core area for concerts and other social gatherings appropriate for the outdoor setting. This space is a transitional buffer area of *open space* between the Residential District and the MUE District. During non-event times, it is anticipated that residents and visitors alike could utilize the area for relaxation or recreational purposes.

5.2.3 Employment District Land Use Plan (E)

The office component of Centrada will include the development of Class A office space to offer a work environment conducive for both its residents as well as other tenants. Office buildings and space will be primarily located adjacent to Bethany Home Road and 91st Avenue, to leverage visibility, direct access and proximity to University of Phoenix Stadium and Westgate City Center for its prospective owners and tenants. Approximately 497,000 square feet of space is anticipated, with almost half programmed for Phase I development. Approximately 30,000 sq. ft. of *retail/commercial* and two multi-level residential buildings housing 84 residential units are also included within the Employment District Land Use program.

Centrada

Planned Area Development

Table 1
Residential District
Land Use Master Plan Data

Land Use Analysis: Residential District

Proposed Land Use	Bldg Footprint S.F.	Number of Floors	Total S.F.	Total Res. S.F.	Total Res. Floors	Total Office S.F.	Total Office Floors	Total Comm. S.F.	Total Comm. Floors	Number of D.U.'s	Parking Garage S.F.	Garage Parking Spaces Provided	Surface Parking Spaces Provided	Res.* Parking Spaces Required	Comm.* Parking Spaces Required	Office* Parking Spaces Required	Total Parking Required/ Building	Phase
R.1 Commercial/ Office/ Residential	25696	6	155388	77694	3	51796	2	25898	1	50	77694 (3 levels UG)	294	16	75	104	173	351	3
R.2 Commercial/ Office/ Residential	27059	6	162354	81177	3	54116	2	27059	1	50	81177 (3 levels UG)	294	15	75	108	180	364	3
R.3 Residential	30438	4	121752	121752	4	0	0	0	0	68	30438 (1 level UG)	111	27	102	0	0	102	1
R.4 Residential	30910	4	123640	123640	4	0	0	0	0	68	30910 (1 level UG)	112	28	102	0	0	102	1
R.5 Residential	29270	3	87610	87610	3	0	0	0	0	51	29270 (1 level UG)	106	16	77	0	0	77	1
R.6 Residential	26160	3	78460	78460	3	0	0	0	0	48	26160 (1 level UG)	95	22	72	0	0	72	2
R.7 Residential	20388	4	81552	81552	4	0	0	0	0	32	20388 (1 level UG)	12	12	48	0	0	48	5
R.8 Commercial	7936	1	7936	7936	0	0	0	7936	1	14	7936 (1 level UG)	14	0	0	32	0	32	5
R.9 Commercial	7877	1	7877	7877	0	0	0	7877	1	13	7877 (1 level UG)	13	0	0	32	0	32	5
R.10 Residential	20570	4	82280	82280	4	0	0	0	0	32	20570 (1 level UG)	12	12	48	0	0	48	5
R.11 Commercial	12673	1	12673	12673	0	0	0	12673	1	13	12673 (1 level UG)	13	0	0	50	0	50	5
R.11A Parking	29846	1	29846	29846	0	0	0	0	0	109	29846 (1 level AG)	109	0	0	0	0	0	5
R.12 Residential	25600	3	77700	77700	3	0	0	0	0	36	25600 (1 level UG)	94	16	54	0	0	54	2
R.13 Residential	27912	3	83736	83736	3	0	0	0	0	30	27912 (1 level UG)	101	10	45	0	0	45	2
TOTAL	322837		1113024	865621		105914		81443		465	359307	1316	214	698	326	353		
												Total Provided: 1530		Total Required: 698		Total Required: 326		1376

Centrada

Planned Area Development

Table 2
Mixed-Use Entertainment District
Land Use Master Plan Data

Land Use Analysis: Mixed-Use Entertainment District

Proposed Land Use	Bigg Footprint S.F.	Number of Floors	Total S.F.	Total Res. S.F.	Total Res. Floors	Total Office S.F.	Total Office Floors	Total Comm. S.F.	Total Comm. Floors	Number of D.U.'s	Hotel Rooms	Hotel S.F.	Total Hotel Floors	Parking Garage S.F.	Garage Parking Spaces Provided	Surface Parking Spaces Provided	Res.* Parking Spaces Required	Comm.* Parking Spaces Required	Office* Parking Spaces Required	Hotel* Parking Spaces Required	Total Parking Spaces Required/ Building	Phase
MUE.14 Residential/ Parking	28568	8	228704	171528	6		0		0	114			0	57176 (2 levels AG)	200	13	171	0	0	0	171	6
MUE.15 Commercial	4500	1	4500		0		0	4500	1				0			6	0	18	0	0	18	6
MUE.16 Commercial	4500	1	4500		0		0	4500	1				0			6	0	18	0	0	18	6
MUE.17 Residential/ Parking	28200	12	339400	282000	10		0		0	114			0	56400 (2 levels AG)	200	13	171	0	0	0	171	6
MUE.18 Commercial/ Office/ Parking	34250	10	342500		0	171250	5	34250	1				0	137000 (4 levels AG)	460	20	0	137	885		822	8
MUE.19 Commercial/ Office	15110	11	166210		0	151100	10	15110	1				0	110280 (6 levels LG)	405	6	0	60	504		564	11
MUE.20 Commercial/ Office	37702	25	942550		0	904945	24	37702	1				0	226212 (6 levels LG)	785	6	0	151	3016		3167	11
MUE.21 Parking	44221	10	442210		0		0		0				0	442210 (10 levels AG)	1540	20	0	0	0	0	0	8
MUE.22 Commercial/ Residential/ Parking	36538	10	365380	255786	7		0	36538	1	120			0	210238 (2 levels AG, 4 levels LG)	760	20	180	146	0	0	326	9
MUE.23 Commercial/ Residential	17448	3	52344	34896	2		0	17448	1	18			0			10	27	70	0	0	97	10
MUE.24 Commercial/ Residential	16058	3	48174	32116	2		0	16058	1	16			0			0	24	64	0	0	88	7
MUE.25 Commercial/ Office/ Residential	23933	3	71799	23933	1	23933	1	23933	1	10			0			6	15	96	80		191	7
MUE.26 Hotel/ Commercial/ Office	30548	16	488788		0	15274	0.5	15274	0.5		360	458220	15	183288 (6 levels LG)	635	6	0	61	51	720	832	7
MUE.27 Commercial/ Residential	23350	3	70050	23350	1		0	46700	2	10			0	46700 (2 levels LG)	170	0	0	15	187	0	202	10
MUE.28 Commercial/ Residential	26274	3	78822	26274	1		0	52548	2	12			0	52548 (2 levels LG)	191	0	18	210	0		228	10
MUE.29 Commercial/ Residential	25315	3	75945	25315	1		0	50630	2	12			0			0	18	203	0		221	4
MUE.30 Commercial/ Residential	26170	3	78510	52340	2		0	26170	1	24			0			56	36	105				12
MUE.31 Hotel	42921	12	515052		0		0		0		300	472131	11	42921 (1 level AG)	135	78	0			545	545	2
TOTAL	465626		4314418	927518		1265405		381361		450	880	890351		1579963	5402	266	675	1525	4221	1265		
Total Provided:															5748	Total Required: 7687						

Centrada

Planned Area Development

Table 3
Employment District Land Use
Master Plan Data

Land Use Analysis: Employment District

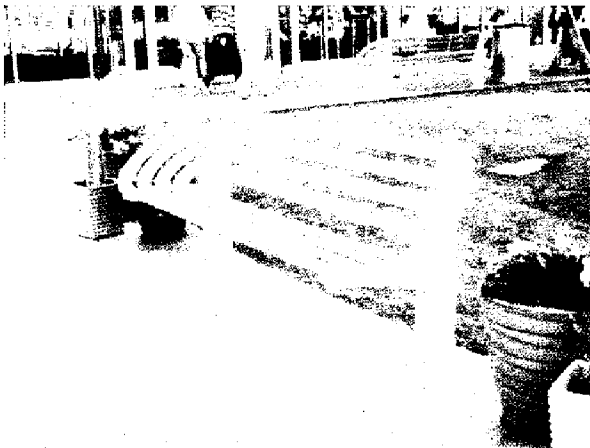
	Proposed Land Use	Bldg Footprint S.F.	Number of Floors	Total S.F.	Total Res. S.F.	Total Office S.F.	Total Comm. S.F.	Number of D.U.'s	Parking Garage S.F.	Garage Parking Spaces Provided	Surface Parking Spaces Provided	Res.* Parking Spaces Required	Comm.* Parking Spaces Required	Office.* Parking Spaces Required	Total Parking Required/Building	Phase
E.32	Office	4813	2	9626		9626						0	0	32	32	1
E.33	Office	7654	6	45924		45924					27	0	0	153	153	1
E.34	Office	7664	6	45984		45984					28	0	0	153	153	1
E.35	Office	5768	2	11536		11536						0	0	38	38	1
E.36	Office	5770	2	11540		11540						0	0	38	38	1
E.37	Office	7662	6	45972		45972					32	0	0	153	153	1
E.38	Office	7652	6	45912		45912					31	0	0	153	153	1
E.39	Office	6507	2	13014		13014						0	0	43	43	1
E.40	Office	20420	3	61260		61260					153	0	0	204	204	4
E.41	Residential	16005	7	112035	64020			42	48015 (3 levels AG)	170	7	63	0	0	63	8
E.42	Commercial/Parking	38834	3	116502			14869		107633 (3 levels AG)	360	49	0	59	0	59	8
E.43	Commercial/Parking	37137	3	111411			14833		96578 (3 levels AG)	340	49	0	59	0	59	11
E.44	Residential	16005	7	112035	64020			42	48015 (3 levels AG)	170	10	63	0	0	63	11
E.45	Office	12800	2	25600		25600					15	0	0	85	85	10
E.46	Office	17870	2	35740		35740					17	0	0	119	119	9
E.47	Office	11475	3	34425		34425					17	0	0	115	115	6
E.48	Office	16380	3	49140		49140					12	0	0	164	164	6
E.49	Office	20420	3	61260		61260					159	0	0	204	204	4
TOTAL		260836		948916	128040	496933	29702	84	294241	1040	606	126	119	1656		
											Total Provided	1646	Total Required:			1901



#5.3

5.3 OPEN SPACE MASTER PLAN

Centrada has been carefully designed to include parks, plazas, and other *open space* elements that contribute to the public realm. It is important to remember that the term "*open space*" within a Mixed-Use development is not necessarily defined as the traditional "*open space*" of suburban development. For the purpose of the Centrada PAD, *open space* will include the traditional "*softscape*" areas that offer pedestrians a



place to gather, usually on grass or some other type of natural surface. The other element included as *open space* within Centrada is "*hardscape*". *Hardscape* also functions as a gathering place but it occurs within plaza areas, between buildings, and usually is defined by items such as decorative pavers and concrete, shade structuring, outdoor furniture and other pedestrian comfort amenities.

Generally, Centrada has been designed as a "pedestrian-oriented" place. It embraces the human scale and experience over vehicular convenience, while still accommodating vehicular traffic and parking. Enhancing activity at the street level is a critical element of designing a successful mixed-use development. The activity at the street level therefore becomes a "place" for pedestrians to gather and circulate. (See Exhibit 21, Open Space Master Plan).

Key design components of Centrada focus on the pedestrian elements, including the plazas and park areas, the majority of which are all located in the MUE District. Within the "core" commercial and *retail* area of the MUE District, a free-flowing feeling of connectivity is encouraged to promote pedestrian circulation and discovery of the internalized *retail* experience. A series of key plaza areas are connected in the core area to create this atmosphere. *Hardscape* plaza areas of the MUE District are also envisioned to accommodate gatherings and special programmed events for the public.

To complement the significant *hardscape* plaza areas proposed in the MUE District, a lawn Amphitheatre/Pavilion element has also been included. (See Exhibit 22a). Surrounded by *retail*, residential and office uses, the lawn area provides a *softscape* core area for concerts and other social gatherings appropriate for the outdoor setting. This space is a transitional buffer area of

open space between the Residential District and the MUE District. During non-event times, it is anticipated that residents and visitors alike could utilize the area for relaxation or recreational purposes.








It is envisioned that the target demographic for Centrada will primarily appeal to singles, working couples, and empty nesters. To that end, the demand for typical park facilities is expected to be low. However, Centrada is providing over four acres of traditional park area. The space is intended for use by the residents of Centrada, occupants of the buildings, and the general public. (See Exhibit 22b, Park Rendering) Minimum open space requirements are addressed in the Development Standards Chapter of the PAD.

Centrada

Planned Area Development

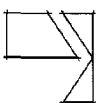
Exhibit 21

Open Space Master Plan

	Softscape-Active (7.9 ac, 10.5%)
	Softscape-Passive (4.7 ac, 6.1%)
	Hardscape-Plaza (7.6 ac, 10%)
	Hardscape-Pedestrian Circulation (8.6 ac, 11%)
	Water Feature (.76 ac, 1%)
Total Active Open Space: 15.5 ac, 20%	
Total Passive Open Space: 14.08 ac, 18%	
	District Boundary
	Zoning Boundary

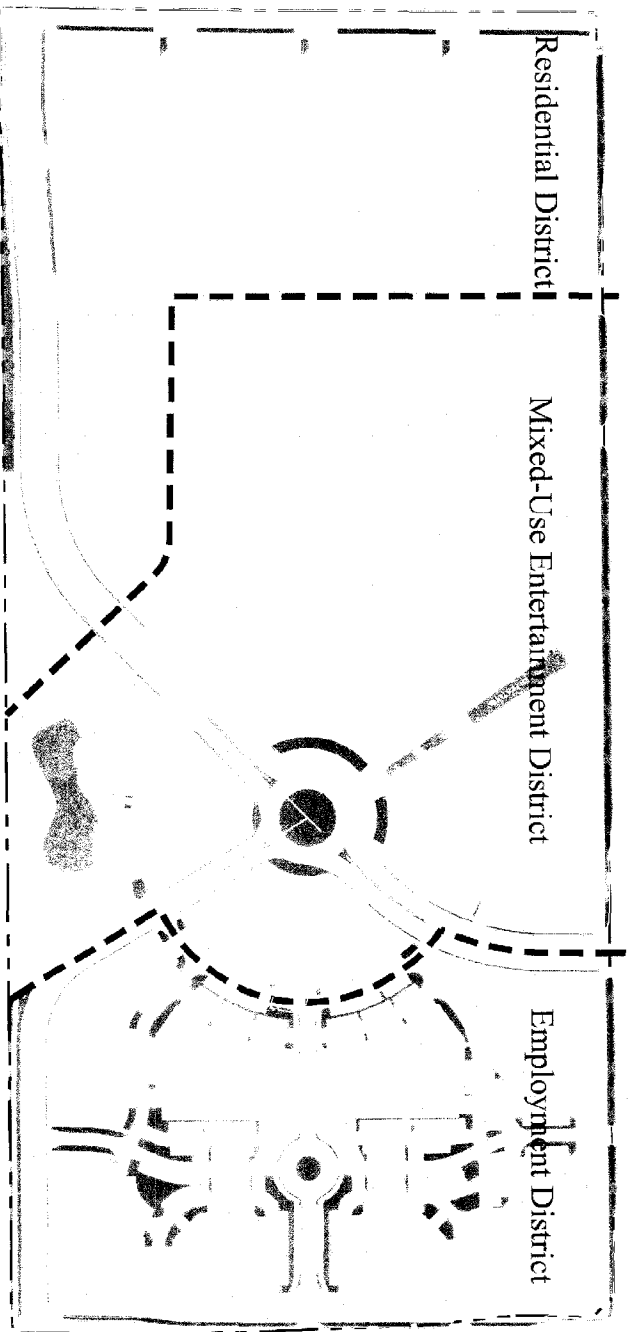
NORTH

SCALE: NOT TO SCALE



PRELIMINARY - NOT FOR CONSTRUCTION
 CENTRADA LANDSCAPE DESIGN STUDIO, LLC
 Date: 8/04/2008 Project No. 0728

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Residential District

Softscape-Active (2%)
 Softscape-Passive (1%)
 Hardscape-Plaza (2%)
 Hardscape-Circulation (5%)

Mixed-Use Entertainment District

Softscape-Active (5%)
 Softscape-Passive (1.8%)
 Hardscape-Plaza (7%)
 Hardscape-Circulation (4%)
 Water Feature (1%)

Employment District

Softscape-Active (3.5%)
 Softscape-Passive (3.3%)
 Hardscape-Plaza (1%)
 Hardscape-Circulation (2%)

Centrada

Planned Area Development

Exhibit 22a Park Rendering (Looking Northwest)

"The primary open space for Centrada is the centralized park. The placement of the park was to ensure that there is equal access to it by all users, as well as to provide a physical and visual separation between the existing residential neighborhood to the south.

Curvilinear walkways, a free form pond, rolling lawns and groves of shady trees set the tone for a quiet and calm retreat."

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Date: 5/20/08

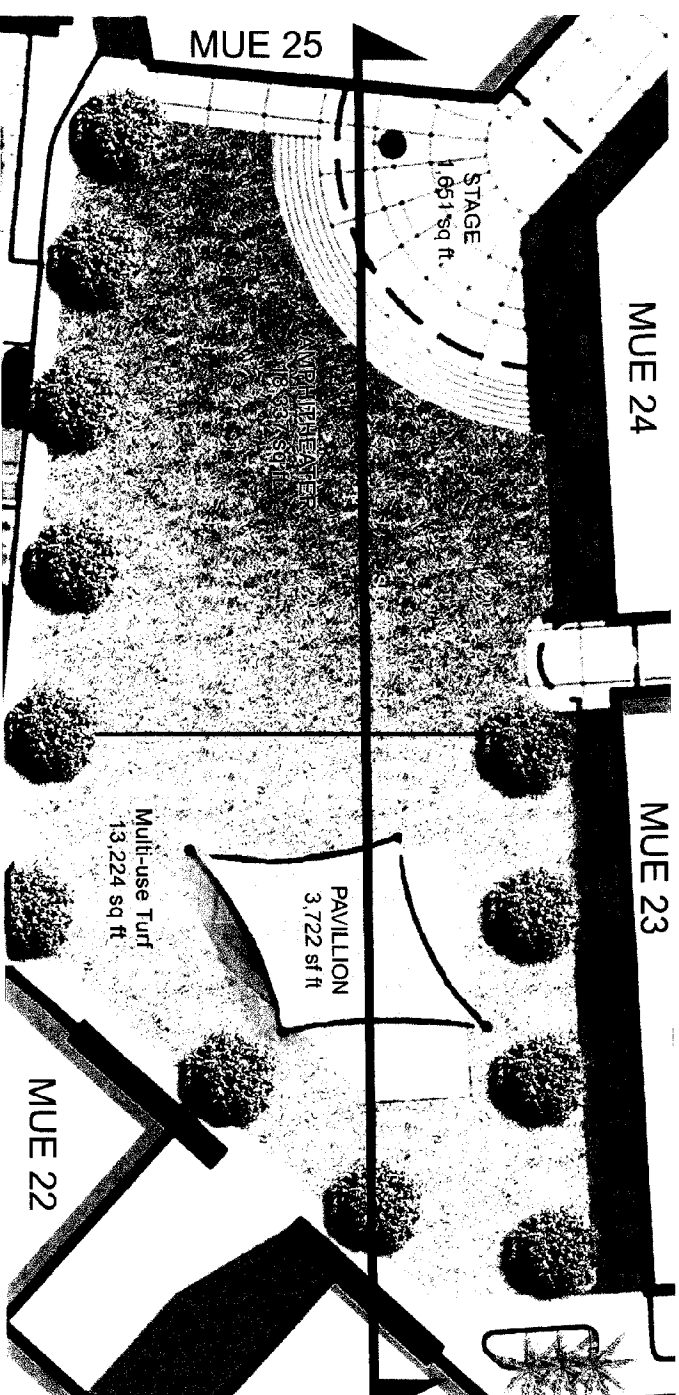
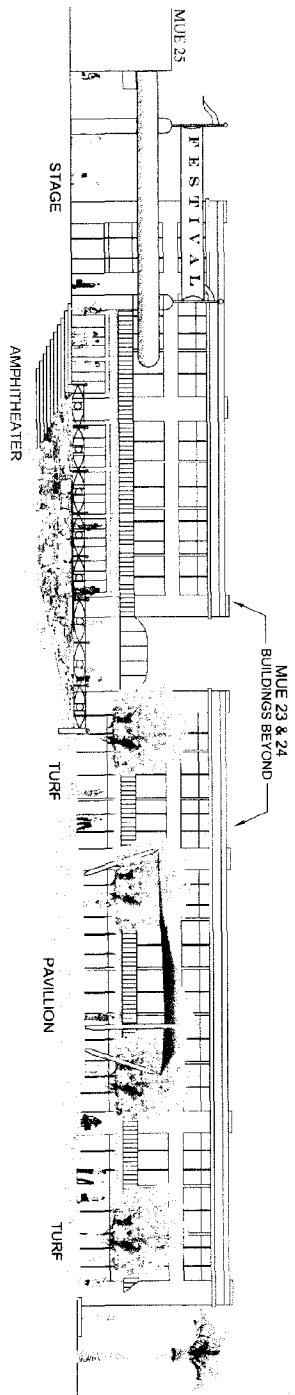
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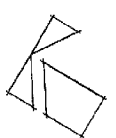
Scenes and improvements are proposed artist renderings and may not be built in precise conformance with this depiction.



Centrada

Planned Area Development

Exhibit 22b Amphitheater Plan and Section



SCALE: NOT TO SCALE

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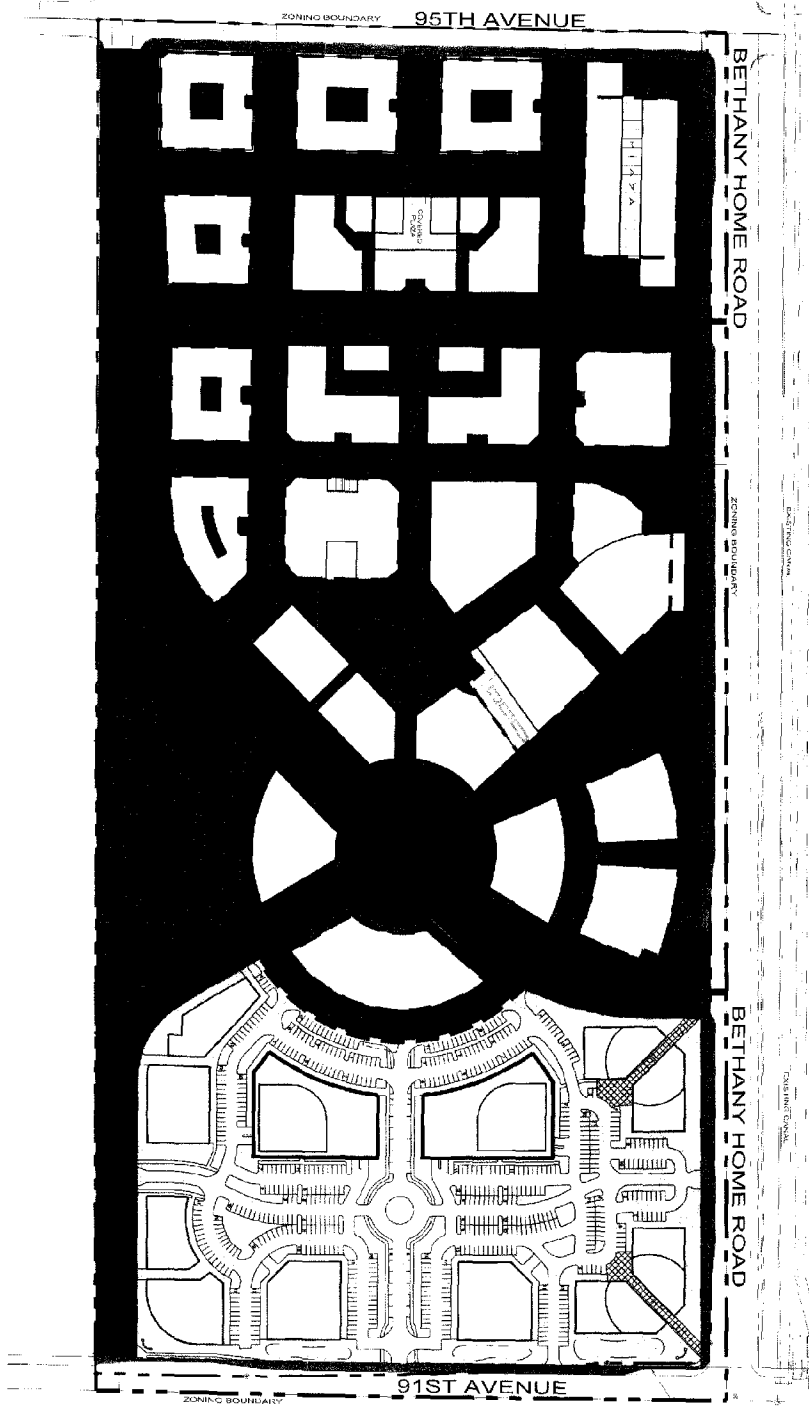
#5.4



5.4 LANDSCAPE MASTER PLAN

The landscape treatment of *Centrada* is intended to reinforce the unique character exhibited through its architecture and site design. These three components then mesh to create inviting and exciting spaces signifying a successful urban environment. The landscape theme has been purposefully designed to create "zones" that foster a variety of enticing settings for both passive and active use, ranging from partially secluded areas for reading, viewing and relaxation to the more dynamic open air plazas typical of a city's downtown (See Exhibit 23, Landscape Zones Master Plan)

Resource conservation is a strong foundation of *Centrada*. To that end, the plant palette of appropriate trees, accents, shrubs, vines and groundcover minimizes water needs while allowing for both the informal and formal character that is envisioned for different spaces within the project. A majority of the plant species have been selected from the Arizona Department of Water Resources (ADWR) Low Water Use Plant List as adopted by the City of Glendale. A few additional vegetation selections that do not appear on the ADWR list have been identified for use in specific locations within the site where the presence of taller buildings will decrease the amount of sun exposure, creating unique micro-climates that respond well to their vegetative growth attributes. However, the use of these plant types should not increase the overall irrigation demand due to a reduced evapo-transpiration rate and will not be used within public *rights-of-way*. The plant palette is provided in Table 4, *Centrada* Plant Palette.



BETHANY HOME ROAD

BETHANY HOME ROAD

95TH AVENUE

91ST AVENUE

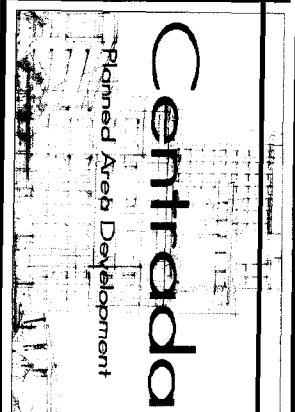


Exhibit 23

Landscape Zones

Master Plan

Legend

- Residential District
- Mixed Use Entertainment District
- Employment District
- Park
- Perimeter Road Landscape
- Collector Road Landscape
- District Boundary
- Zoning Boundary

Note: See Table 4 for Landscape Palette

NORTH

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Table 4: Plant Palette

TREES	Employ. District	Mixed-Use Entertain. District	Res. District	Perimeter/ Arterial Road Landscape	Collector Road Landscape	Park Landscape
**Theme Tree	Quercus species Southern Live Oak	Dalbergia sissoo Dalbergia	Fraxinus species Ash	Cercidium 'D. Museum' Desert Museum P.V.	Cercidium Cercidium 'D. Museum' Desert Museum P.V.	Ulmus parvifolia Chinese Evergreen Elm
Acacia smallii Sweet Acacia	.	.		.	.
Acacia salicina Weeping Acacia	.	.	.	.		.
Acacia stenophylla Shoestring Acacia	.	.	.	.	.
Bauhinia species Orchid Tree			.			.
Cercidium floridum Blue Palo Verde				.	.	
Cercidium praecox Palo Brea	.	.		.	.
Cercidium 'D. Museum' Desert Museum P.V.	.	.		.	.
Cupressus sempervirens Italian Cypress		.	.			
Chitalpa tashkentensis Chitalpa		.	.		.	
Dalbergia sissoo Dalbergia	.	.	.	.	.	.
Delonix regia Flamboyant						.
Eucalyptus species Eucalyptus				.		.
Fraxinus Velutina Rio Grande	.	.	.		.	.
Pistacia chinensis Pistachio			.			.
Quercus species Southern Live Oak	.	.	.	.	.	.
Olea europaea Fruitless Olive			.	.	.	.
Phoenix dactylifera Date Palm	.	.	.	.	.



Thevetia peruviana Yellow Oleander	.	.	.	.	.
Ulmus parvifolia Chinese Evergreen Elm	.	.	.			.

ACCENTS

Agave spp. Agave	.	.	.	.	.	.
Chamaerops humilis Mediterranean Fan Palm		.	.			
Dasyliroa wheeleri Desert Spoon	.			.	.	
Dasyliroa longissimum Toothless Desert Spoon			.	.	.	.
Hesperaloe funifera Giant hesperaloe	.	.	.	.	.
Hesperaloe parviflora Red Yucca	.	.	.	.	.	.

SHRUBS

Bougainvillea species Bougainvillea	.	.	.	.	.	.
Buxus microphylla Boxwood		.	.			
Caesalpinia species Bird of Paradise				.	.	.
Carissa grandiflora Natal Plum	.	.	.			
Dalea species Dalea				.	.	
Dodonea viscosa Hopseed Bush				.	.	
Justicia spicigera Mexican Honeysuckle			.	.	.	
Leucophyllum species Sage	.	.	.	.	.	.
Muhlenbergia species Deer Grass	.	.	.	.	.	.



Myrtus communis True Myrtle		.	.			
Nerium oleander Oleander	.	.	.	.	.
Pittosporum tobira Dwarf Pittosporum		.	.			

Raphiolepis indica Indian Hawthorn		.	.			
Ruellia brittoniana Blue Ruellia	.	.	.	.	.	.
Ruellia peninsularis Desert Ruellia				.	.	.
Simmondsia chinensis Jojoba				.	.	
P. setaceum 'Cupreum' Purple Fountain Grass		.	.			.
Xylosma congestum Xylosma		.	.			

VINES

Ficus pumila Creeping Fig		.	.			
Jasminum mesnyi Yellow Jasmine		.	.			
Rosa banksiae Lady Bank's Rose		.	.			

GROUND COVER

Acacia redolens Trailing Acacia	.			.	.	.
Cynodon dactylon Hybrid bermuda grass	.	.	.	.	.	.
Hedera species Ivy		.	.			
Lantana species Lantana	.	.	.	.	.	.
Lonicera japonica Hall's Honeysuckle		.	.			
Rosmarinus officinalis Rosemary	.	.	.	.	.	.
Ruellia brittoniana ' Katie' Katie's Ruellia	.	.	.	.	.	.



Weddella trilobata Yellow Dot
Zephyranthes species Rain Lily		.	.			

COLOR

Annuals By Season	.	.	.			
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** Theme tree for each district will be 50% minimum of the total trees in that district.

5.4.1 Residential District Landscape

Typical of urban residential districts in other areas of the country, *Centrada* will utilize the environmental hallmarks of city living that will include tree lined streets, small mini-parks, plazas and its own unique palette of plants that lend themselves to a more residential character. The goal in these areas is to provide inviting spaces for residents to spend time not just in their homes, but outside on the street and in the *open spaces* enjoying the community. Therefore, providing shady refuges is an important component of *Centrada*. By capitalizing on the overall height and proximity of the buildings with each other, the byproduct of the density creates shade. The trees lining the streets and building mounted shade canopies will also contribute with sun protection and will lend themselves to providing a *pedestrian scaled* environment surrounding the multi-story buildings. Each building will also feature its own internal courtyard averaging approximately 3,500 square feet, that can serve as a more private space for family uses. Outside these areas, the mini-parks and plazas throughout the residential district will be appointed with lush landscaping, vine covered trellises, and small scale water elements. Informal seating arrangements will be spread throughout to help reinforce the residential character with the possibility of having small tot-lot play zones that will encourage people to spend time outside.

5.4.2 Mixed Use District Landscape

Central to the site is the Mixed-Use Entertainment District that will effectively knit the residential and employment districts. Landscape treatments in this zone will become more formalized to create larger public gathering places. Streets will have a distinctive tree theme to identify the district. The main points of interest will occur at the project's entrances and interior plazas which will demand a much more intense landscape experience than the other areas of the site. The entrance locations will provide a strong sense of arrival and announce the various "gateways" into the site. Formal arrangements of trees and hedges will



create a backdrop for expanses of blooming seasonal groundcover and accent plants. The inclusion of larger trees (than used on the street segments) will be encouraged at these locations to add a sense of permanence to the site.

Once beyond the primary and secondary project entrances, the landscape treatment will create special interest zones at roadway intersections and pedestrian spaces. These passive and active areas will be treated with special accent trees, shade trees, select lawn areas, as well as evergreen and flowering understory plantings. The plaza, amphitheater, and park are intended to provide meaningful spaces connected by a strong pedestrian corridor that encourages interaction and exploration through the site, but will also allow the opportunity for relaxation under a shady tree. The open lawn areas and paved plaza and park will set the stage for outdoor festivals and *special events* as well as informal use throughout the day. These spaces will include water features, public art, shade structures and comfortable site amenities.

5.4.3 Employment District Landscape

The Employment District, at the east end of the development, shall also carry itself as its own identifiable zone on the site. Again, a new themed tree shall be used to create its own character separate from the Residential and Mixed Use areas. Given that there is more surface parking in this area, this theme tree will need to provide ample shade for the cars and for the pedestrian walkways leading to the building entrances. Buildings will have layers of foundation plantings with an emphasis on the building entrances through the use of accent plants, large scale pots, and color groundcover. Outdoor seating areas will also be provided for employee use.

5.4.4 Perimeter/Arterial (Bethany Home Road and 91st Avenue)

The appearance of the perimeter landscape treatment should create interest and set the overall theme of the project. Generous landscape *setback* areas (varying from 20' – 40' wide) are provided along the perimeter arterial roads. Low water use native and approved non-native species shall be used to create an informal style representative of a city's edge. These informal arrangements will include evergreen and deciduous shade trees, evergreen shrubs, groundcover, contoured landforms and retention basins, decorative site walls and select areas of turf. These landscape areas shall be used to both add interest and provide screening which may result in planting designs within the site using varying types and densities of trees, shrubs and groundcover depending on their direct and indirect sun exposure. The landscape treatment in these areas shall be designed to establish an appealing vegetative environment.



5.4.5 Park Landscape

The primary *open space* for the entire site will be the centralized park. The placement of the park was to ensure that there was equal access to it by all the users as well as to provide a physical and visual separation between the existing residential neighborhood to the south and the taller buildings on site. The park will provide a welcomed green space behind these homes that will allow for them to also be users and enjoy the proposed amenities. The approach to the design was to create a more natural *open space* within the very structured and geometric site layout beyond the park boundaries. Curvilinear walkways, a free form pond, rolling lawn playfields and large groves of shady trees set the tone for a quiet and calm retreat space. Park visitors can make use of several ramadas near the pond, play a game of basketball at the sport court or just enjoy the quiet solitude. For larger gatherings, a shade pavilion is planned on the north side of the pond that can be used for larger family barbeques, office events or for planned neighborhood activities. Central to the pavilion space will be a water feature element, and the south end will include steps leading down to the water's edge. This could be a great spot to bring the kids for an afternoon of fishing.

Secondary to the park's use as an *open space* area, there will be several large retention basins that will service the entire site. These basins will be designed to complement the naturalistic free form elements described above by undulating the basin side slopes and providing curvilinear basin shapes that follow the sidewalk alignments. Planted within the basin will be large shade trees, riparian type understory shrubs and turf playfields. The lawns in these areas will help with water filtration, provide bank stabilization, and of course allow for a cool green space.

5.4.6 Collector Landscape

The interior streetscape of *Centrada* will utilize a boulevard treatment to set the tone for the collector road alignment. Similar to the other areas on the site, this roadway will be designated by its own unique theme tree that will line both sides of the road. Formalized understory plantings will display large visual blocks of texture and color to compliment the theme. At select locations there will be transition zones that will indicate entry points into the various Districts. Within the Mixed Use Entertainment District a large roundabout will be used to calm traffic speeds and add interest. Within the roundabout median, a low turf berm will be surrounded with large spaces for accent plantings including areas for colorful groundcover at the ends of the approaching roads. At the top of the berm would be a space for a public art element reflecting the theme of the *Centrada* community.

#5.5



5.5 PEDESTRIAN CIRCULATION MASTER PLAN

The Centrada Master Plan has been designed with the pedestrian experience in mind. To achieve a successful mixed-use plan such as Centrada, a holistic approach has been taken to promote an easily identifiable pedestrian circulation pattern integrated within all three districts of the PAD project area. Strategically located way-finding and directional signage will further enhance the pedestrian circulation flow. Patrons of the *retail* shops in the Mixed-Use Entertainment District should have the ability to park their automobile in a neighboring district and easily be able to navigate on foot to any location within Centrada.

Naturally, sidewalk areas adjacent to buildings and roadways are seen as primary circulators throughout the project. These primary sidewalk areas are intended to be more than simply pathways for walking. They should incorporate pedestrian comfort elements at appropriate locations, integrate well with building ingress and egress locations and provide adequate connectivity to internal or secondary walkways, plazas, promenades and open space. Circulation connectivity should be provided along each street frontage within the project while remaining mindful of accessibility requirements and landscape requirements.

Multiple points of pedestrian connection should be established around the project perimeter with a porous approach to access opportunities. The main plaza or promenade opening up to Bethany Home Road within the Mixed-Use Entertainment District serves as the primary pedestrian access point with a deliberate and inviting orientation towards the University of Phoenix Stadium and Westgate City Center for visitors to the project.

Connectivity to the project park location is established via a below-grade tunnel beneath Montebello Avenue from the Residential and Mixed-Use Entertainment Districts and at-grade connections from the Employment District. Furthermore, a gate is planned along the south property fence line allowing the neighboring residential development direct access to the park. (See Exhibit 24, Pedestrian Circulation Master Plan).

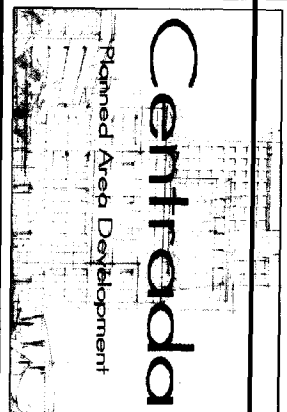
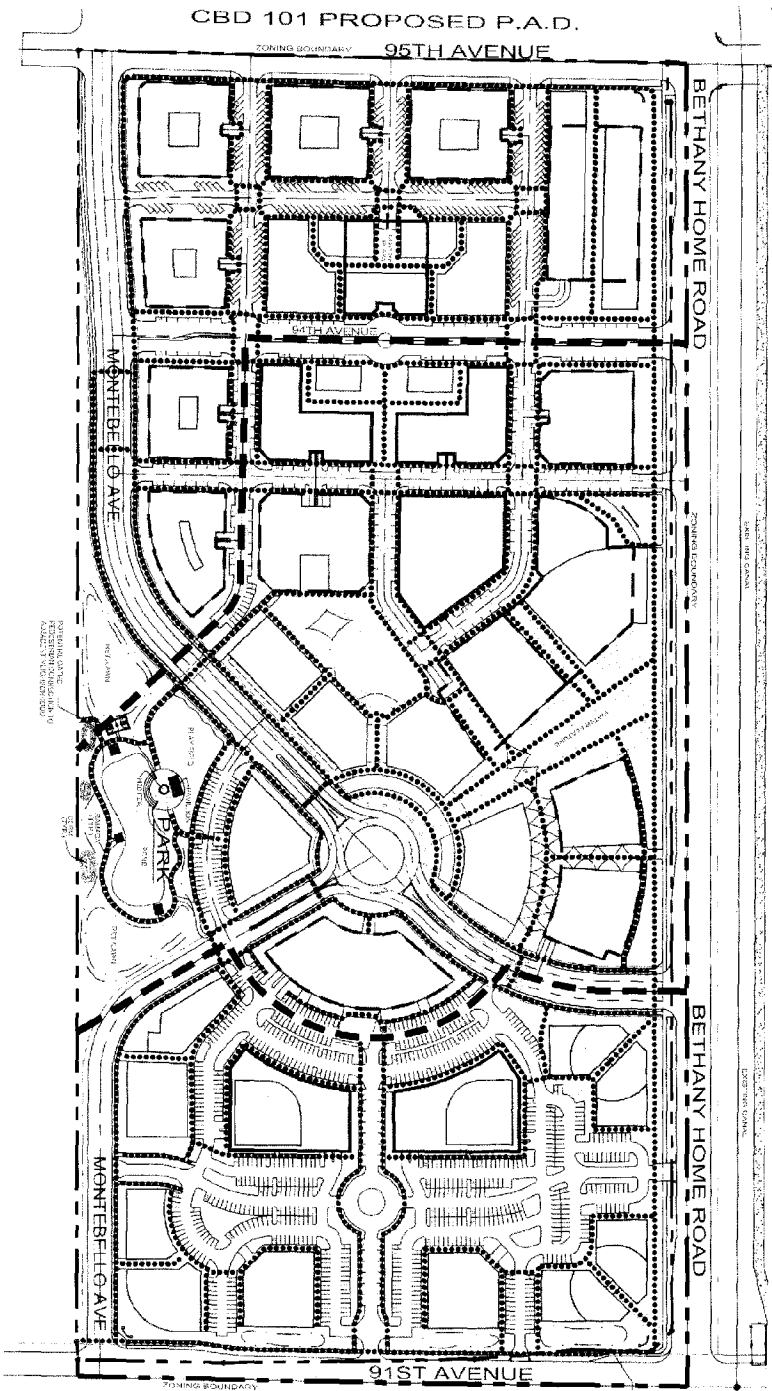


Exhibit 24

Pedestrian Circulation

Master Plan

Legend

- Residential District
- Mixed Use Entertainment District
- Employment District
- District Boundary
- Zoning Boundary

SCALE: NOT TO SCALE



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CENTRADA LAND DEVELOPMENT, LLC

Date: 8/04/2008

Project No. 0728

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#5.6



5.6 STREET CIRCULATION MASTER PLAN

Given the nature and relative size of the Centrada development, traffic related service is of primary importance. At full build-out, net of internal trips (estimated at 14% of all trips), the development is anticipated to generate approximately 37,586 vehicles per day (VPD) with approximately 3,238 AM peak hour trips and 3,652 PM peak hour trips. It is essential to fully understand the traffic generated in terms of magnitude and trip distribution to the proposed access points. Having this sound understanding assists in assessing the internal circulation system, the impact of Centrada upon the surrounding street network and the type and number of required ingress and egress points (See Exhibit 25, Street Circulation Master Plan).

5.6.1 Street Standards and Hierarchy

The creation of street cross sections not only defines the urban character, but also respects the pedestrian friendly nature of the development. Roadway dimensions and setbacks have been established through coordination with all consultants to provide the appropriate density, traffic flow, landscape standards and pedestrian accommodations to fulfill the development's vision. Traffic roundabouts are proposed along the internal roadways to assist in traffic calming, thereby ensuring the internal corridors remain pedestrian friendly. The project incorporates a hierarchy of streets to include local streets within the Residential and Mixed-Use District, a minor collector to facilitate north/south traffic, a Collector to facilitate east/west traffic, and a minor collector connecting 95th Avenue to Bethany Home Road through the site.

5.6.2 Public Street Sections

95th Avenue is proposed as a five lane cross-section utilizing two (2) through lanes per direction with a two-way left-turn lane. The five lane cross-section will be provided south of Bethany Home Road by the Centrada and CBD 101 developments. An exclusive right turn lane and dual left turn lanes will be provided at Bethany Home Road.

Bethany Home Road is proposed as a six lane cross-section utilizing three (3) through lanes per direction) with a median. Exclusive right turn lanes and single or dual left turns will be provided at 91st and 95th Avenues.

91st Avenue is proposed as a five lane cross-section two (2) through lanes per direction with a two-way left-turn lane. The three lane cross-section will be provided south of Bethany Home Road as Centrada develops. An exclusive right turn lane and dual left turn lanes will be provided at Bethany Home Road.

Montebello Avenue is proposed as a five lane cross-section using two (2) through lanes per direction with a two-way left turn lane between 91st and 95th Avenues. Exclusive left and right turn lanes will be provided at



91st Avenues. However, for the roadway leg between the roundabout and 91st Avenue, this segment is proposed as a three lane cross-section using one (1) through lane per direction and a two-way left-turn lane.

5.6.3 Private Street Sections

94th Avenue and the Local streets throughout the project are intended to be private streets. Private streets within the project will be maintained by the Centrada Property Owners Association.

94th Avenue

94th Avenue has been designed to reflect an urban Minor Collector section with a 104-foot total tract width providing for two (2) through lanes per direction divided by a raised, landscaped median. Single width left turn lanes will be provided at street intersections with median breaks.

94th Avenue serves as a division line in the project, not only bisecting the site completely in the north / south direction between Bethany Home Road and Montebello Avenue, but also serving as a division line between the Residential and Mixed-Use Entertainment districts within the project. The recognition of this district division line and the various building uses proposed along 94th Avenue supports the concept of the street being a more significant section than that of a typical local or minor collector roadway. 94th Avenue is envisioned to be a very pedestrian friendly collector street with on-street parallel parking, wide sidewalk areas and numerous landscape opportunities along the streetscape.

Additionally, a small traffic control circle element is depicted on the site plan at approximately the mid-way point between Bethany Home Road and Montebello Avenue at a non-street intersection location. The purpose of this element is to discourage high rates of speed through this pedestrian oriented corridor through an attractive and unique detail.

Mixed-Use Entertainment District Local Streets

The local street section character proposed for the Mixed-Use Entertainment district consists of one travel lane in each direction on 26-feet of paved roadway with on-street parallel parking at appropriate locations to enhance the urban character of the project. These streets are contained within a 66-foot total tract width. Minimum 10-foot wide sidewalk areas are proposed between on-street parking locations and building faces with landscape planters and tree grates sensibly located as not to hinder pedestrian circulation.



Residential District Local Streets

The local street section character proposed for the Residential district consists of one travel lane in each direction on 24-feet of paved roadway with on-street angled parking at appropriate locations. These

streets are envisioned with a reduced speed limit control and have been designed to promote a feel of true residential access ways studied in other heavily populated urban cores.

These streets are contained within a 83-foot total tract width. Minimum 10-foot wide sidewalk areas are proposed between on-street angled parking locations and building faces with landscape planters and tree grates sensibly located as not to hinder pedestrian circulation.

(Please see Exhibit 25, Street Circulation Master Plan, Exhibit 26, Street Section – Public Streets, Exhibit 27, Street Section – Private Streets, and Exhibit 28, Roundabout Detail).



5.6.4 Roundabout

Centrada intends to utilize the roundabout to assist with overall traffic flow. The roundabout is designed to calm traffic and promote safe and efficient vehicle movement. The design of the roundabout requires vehicles to travel counterclockwise in a one way circular motion, with entering traffic yielding the right of way to circulating traffic. All motorists approaching a roundabout must yield. Drivers entering a roundabout must slow down to approximately 15-25 mph to avoid conflicts with vehicles navigating the circle, and be prepared to stop for pedestrians and bicyclists. Once in the roundabout, drivers proceed to the appropriate exit, guided by traffic signs and pavement markings.

According to Arizona Department of Transportation, several studies have shown that modern roundabouts are successful in promoting safety. Roundabouts are not the universal solution to all traffic issues at intersections or interchanges. However, replacing some traffic signals with roundabouts can reduce the likelihood and severity of rear end accidents by discouraging aggressive drivers.

Due to the low entry speed, motorists have no incentive to speed up when approaching green lights. Nor do they have any reason to slow down abruptly at red lights. A 2001 Insurance Institute for Highway Safety Study of 23 US intersections reported that converting intersections from traffic signals or stop signs to roundabouts reduced injury accidents by 80 percent and all accidents by 40 percent.

Because roundabouts improve the efficiency of traffic flow, they also reduce vehicle emissions and fuel consumption. Studies have found that fuel consumption can be reduced by approximately 30 percent – a savings of up 200,000 gallons of fuel per year.

5.6.5 Public Transit Network

The Centrada project site is not currently served with adjacent existing local or express bus service by Valley Metro or the City. The most proximate existing local Valley Metro service is located on Glendale Avenue (Route 70/Glendale-24th Street) which connects Luke Air Force Base with South Phoenix. A park and ride lot is located one (1) mile north at the northeast corner of Glendale Avenue and 99th Avenue, which serves local and express bus service demand in the area. There is not any local service on Camelback Road within the Study Area. Express bus service utilizes the Loop 101 (Route 573) to transport passengers from Arrowhead Towne Center to the Central Station in Downtown Phoenix. The Glendale General Plan has identified the need for increased service on Route 70. It also recommends a western extension of Route 60 which currently serves Bethany Home Road, east of 83rd Avenue and a route down 91st Avenue, south of Northern Avenue.



A future local trolley route is being considered to serve the transportation needs in the City's Sports and Entertainment District, north and west of Glendale. It is intended to link with the potential future extension of Valley METRO light rail should it extend to this very important area of Glendale. An extension proposed to the trolley route would provide service to the south, potentially connect other projects located on the west side of the Loop 101, and serve the Park and Ride Lot and the Sports and Entertainment District on Glendale Avenue. In this manner, a multimodal alternative to the automobile may be feasible, based on the vibrant residential, retail, entertainment and employment character of this area.

The density and intensity of the Sports and Entertainment District also provides a focus for future investment in light rail service. Even though the starter light rail segment will terminate at the intersection of Bethany Home Road and 19th Avenue by the end of 2008, future planning is anticipated to serve Western Glendale. A northern extension will terminate service at the intersection of Glendale and 19th Avenues by 2012. Three additional corridors are currently being evaluated for consideration. These include a route along Glendale Avenue (which will involve coordination with ADOT at its intersection with Interstate 17); a corridor of study between Northern and Bethany Home Road; and a corridor along Interstate 10.

5.6.6 Regional Transportation Improvements

In response to the approved Centrada PAD Traffic Impact Analysis, as well as comments and concerns expressed by adjacent commercial property owners, the section of the PAD proposes transportation improvements and development conditions to be applied during the implementation of the Centrada PAD.

Due to the many variables that one must take under consideration when determining the need for transportation improvements, the developer of Centrada will expect to update the traffic impact analysis from phase to phase as necessary to confirm transportation improvements and traffic signal needs. Updates to the Traffic Impact Analysis will be reviewed and approved by the City of Glendale prior to the commencement of construction of each phase.

For the purposes of planning and development of the roadway network affiliated with the Centrada Master Plans, the roadway facilities to the north of the planned roundabout (or alternative improvement) shall be considered and referenced as 92nd Avenue. Further, this PAD recognizes an agreement between the City of Glendale and the Arizona Cardinals the Arizona Tourism & Sports Authority affiliated with plans for the development of 93rd Avenue in an location specified within a November 2004 Memorandum of Agreement. The current ownership and all subsequent interest in the Centrada development agree within this PAD to not oppose the installation of a future traffic signal at the planned intersection of 93rd Avenue and expect, in exchange, the same consideration for the planned traffic signal and roadway improvements at 92nd Avenue.

The following transportation improvement conditions are to be applied to the implementation of the Centrada PAD as administered by the City of Glendale:

Design of Montebello Avenue

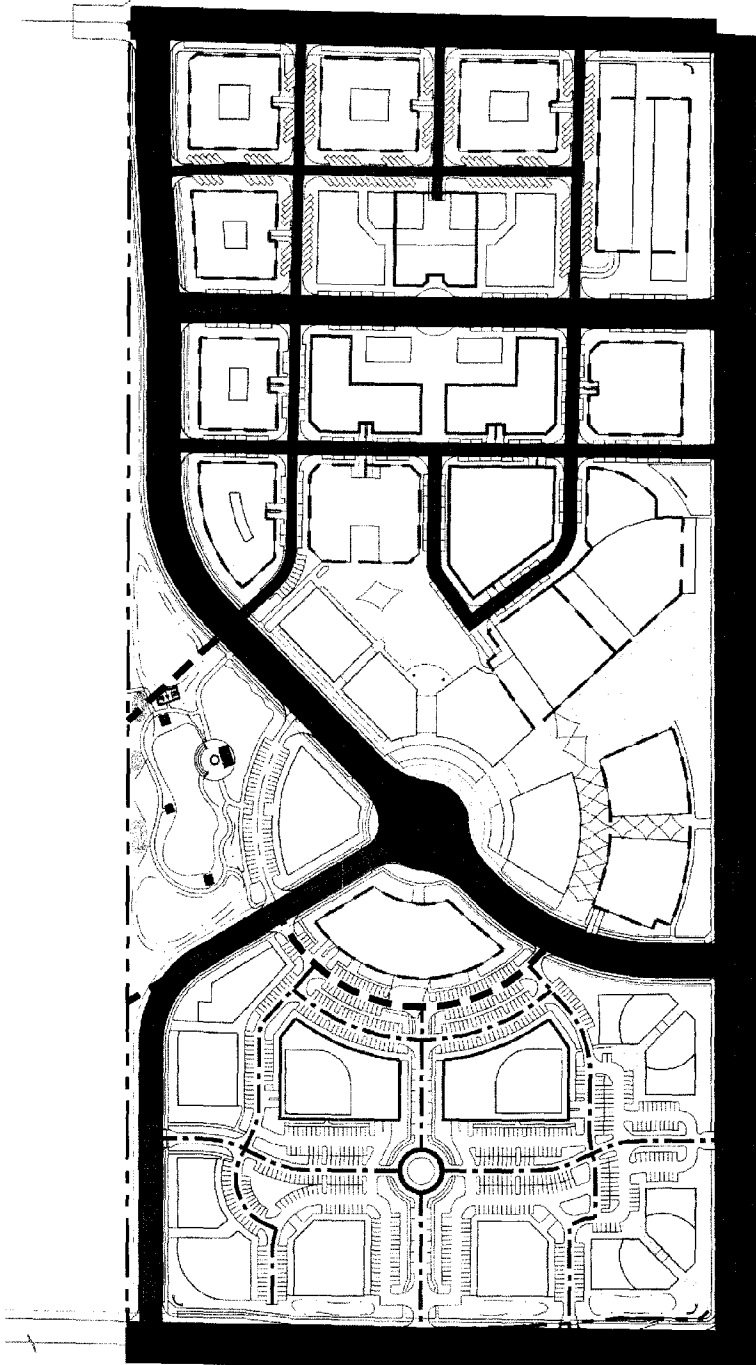
The design of Montebello Avenue is planned as a public minor arterial roadway within the PAD. This design anticipates the development of two through traffic lanes in each direction (but no more than two through traffic lanes in each direction plus middle turn lanes and medians) from 95th Avenue through the planned roundabout (or alternative improvement) to 91st Avenue with the development of a new traffic signal at the intersection of 91st Avenue and Montebello Avenue. 92nd Avenue shall intersect Bethany Home Road at the location indicated in the PAD.

Prior to the commencement of construction of the roundabout (or alternate improvement), the developer of Centrada will update the Traffic Impact Analysis to consider the roadway improvements, development intensity and traffic patterns in and around the Centrada project as "current and future conditions". This updated traffic impact analysis will evaluate the operations of a roundabout versus a conventional signalized intersection. The updated Traffic Impact Analysis will be submitted to the City of Glendale Transportation Department and a corresponding copy will be delivered to the CBD101 Master Developer for concurrent review and comment. Centrada shall design and develop the most

effective operational intersection with consideration of local traffic patterns as well as a City-wide, operational considerations of signal progression on 91st Avenue. This process may result in the roundabout being shifted to the south. Under no circumstances will the location of the roundabout (or alternative improvement) alter the location, size or dimensions of the planned park.

Development Phasing of Montebello Avenue

Montebello Avenue will be constructed in phases. However, the initial phase will be constructed as a two lane roadway connecting 91st Avenue to 95th Avenue. The initial phase will commence when Centrada exceeds 750,000 square feet of development on the property. Further, once Centrada exceeds 1,500,000 square feet, the initial phase of this roadway will be supplemented with the additional two lanes, middle turn lanes or medians to complete the full street improvements. Construction of the initial two lanes shall commence immediately after the date that 750,000 square feet of development has been built in Centrada and will be completed no later than eleven months thereafter. Construction of the full street improvements shall commence immediately after the date that 750,000 square feet of development has been built in Centrada and will be completed no later than eleven months thereafter. The traffic signal planned at the intersection of Montebello Avenue and 91st Avenue will be installed when determined by the City of Glendale Transportation Department.



Centrada

Planned Area Development

Exhibit 25

Street Circulation Master Plan

Legend

Public Streets

- 91st Avenue - Major Arterial (130' R.O.W.)
- Bethany Home Road - Arterial (120' R.O.W.)
- 95th Avenue - Arterial (110' R.O.W.)
- Montebello Ave. (West) - Minor Arterial (110' R.O.W.)
- Montebello Ave. (East) - Collector (80' R.O.W.)
- Private Streets
- 94th Avenue - Minor Collector (104' Tract)
- Local Street - Residential District (83' Tract)
- Local Street - Mixed Use District (66' Tract)
- Parking Area Primary Circulator

NORTH

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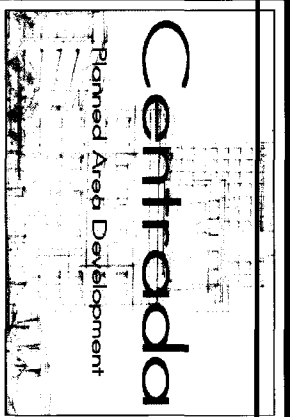
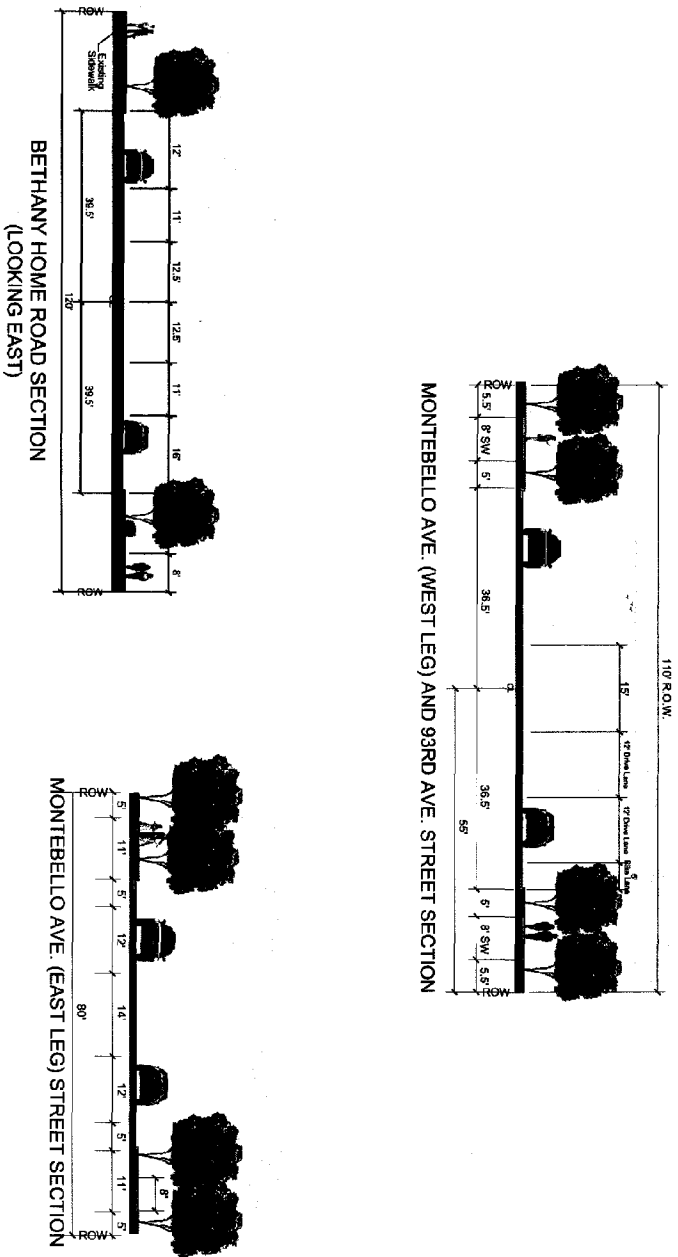


Exhibit 26 Street Section-Public Streets

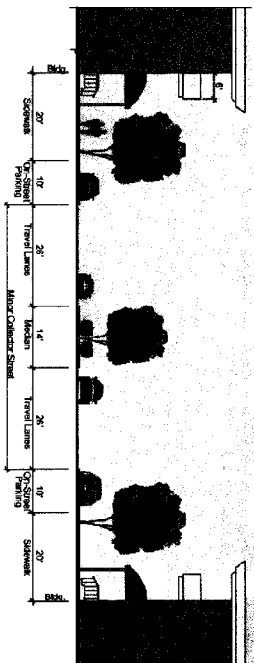


Note: As development occurs, the Transportation Department shall review and approve placement of bus bays and/or trolley stop locations

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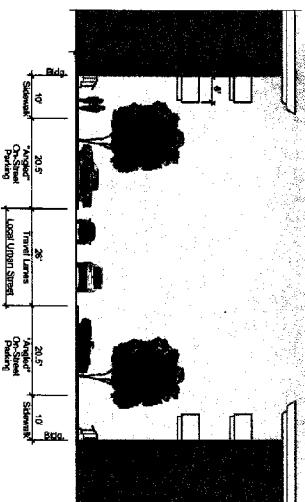
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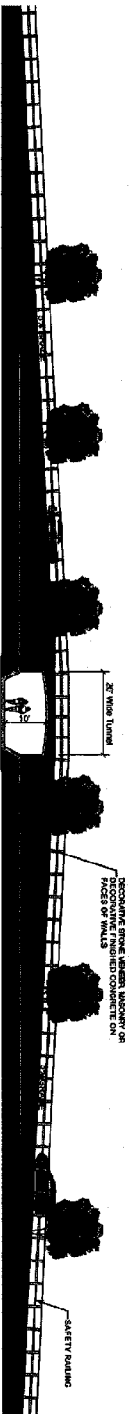
Minor Collector Street Character Section
(Residential / Mixed-Use Entertainment Districts)



Local Street Character Section
(Mixed-Use District)



Local Street Character Section
(Residential District)



TUNNEL UNDER MONTEBELLO AVENUE (CONCEPTUAL)

Note: City Engineer will determine final roadway grade and depth of tunnel as needed to maintain public safety.

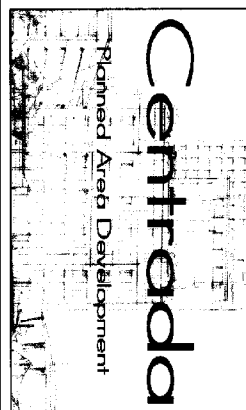


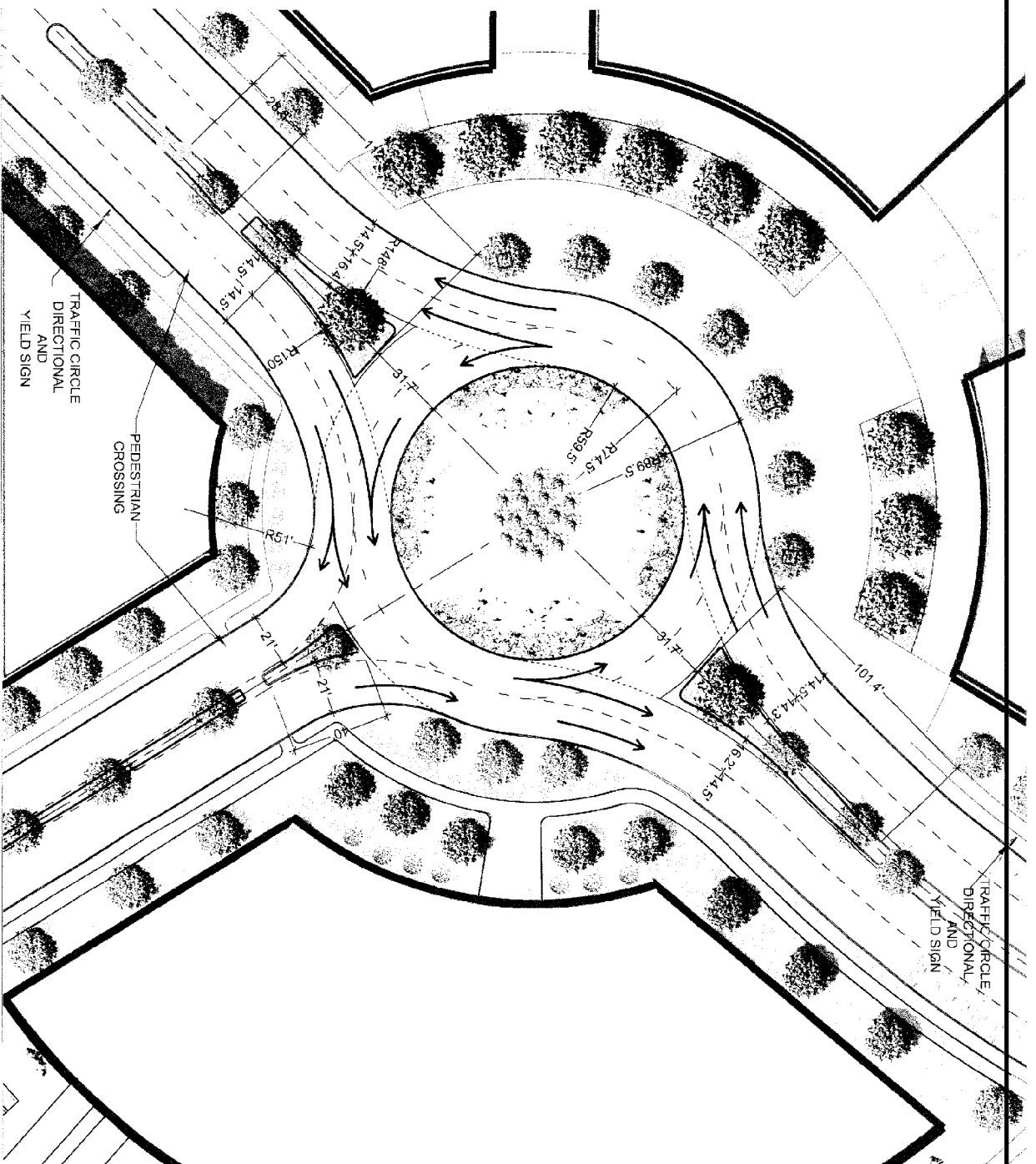
Exhibit 27

Street Section-Private Streets

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Planned Area Development
Contrada

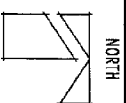
Exhibit 28 Roundabout Detail

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#5.7

5.7 PARKING MASTER PLAN

Parking is a key element of any site development plan and can be provided in a variety of ways. Centrada proposes a mix of surface parking and structured parking to meet parking demands on the site. For the purpose of this PAD, Centrada will have the ability to share parking based on relationships among the land uses and anticipated peak and off-peak demands affiliated with the mix of uses – a practice commonly used in mixed-use projects and supported/documented by the Urban Land Institute. The Land Use Master Plan currently depicts approximately 8,900 spaces (See Exhibit 29, Parking Master Plan)

5.7.1 Structured Parking

Even though vehicle parking is not a land use in the traditional sense of a master plan, a mixed use project with an urban theme could not be a reality unless structured parking was carefully integrated into the project in a sensitive manner. Incorporating *retail*, restaurant, residential and office uses on multiple levels will provide an attractive and functional element to the parking structure.

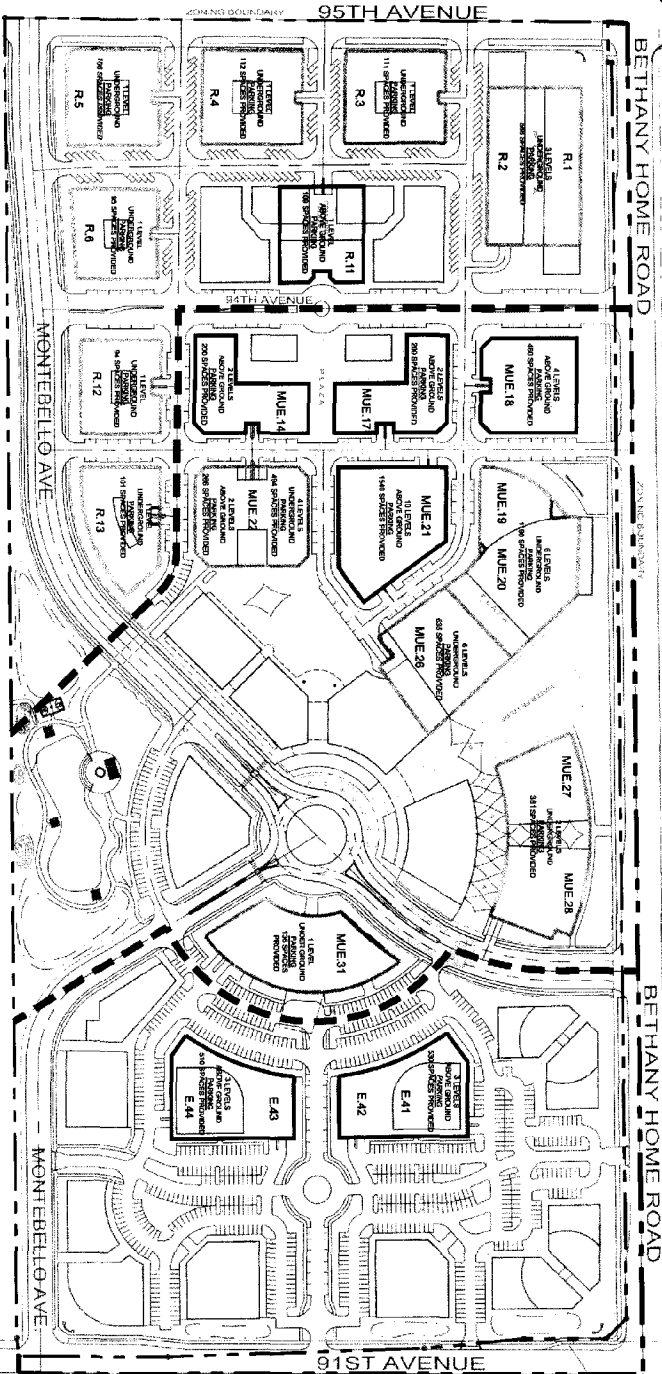
As depicted on Exhibit 29, and reflective of the Land Use Master Plan, a total of approximately 8,900 parking spaces are programmed to serve the land uses at build out, and will be a component of all twelve phases of the project. The total number of constructed parking spaces will correlate with the number of *dwelling units*, amount of non-residential space, and lodging rooms developed at project build out. Based on the Land Use Master Plan, the following is an approximate projection of parking spaces:

- Approximately 1,316 garage, and 214 surface parking spaces are programmed within the Residential District.
- Approximately 5,482 garage, and 266 surface parking spaces are programmed within the Mixed-Use Entertainment District.
- Approximately 1,040 garage, and 606 surface parking spaces are programmed within the Employment District.

Residential District

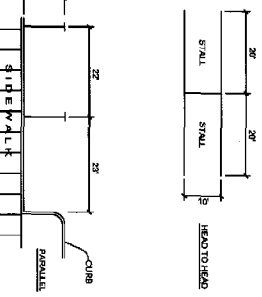
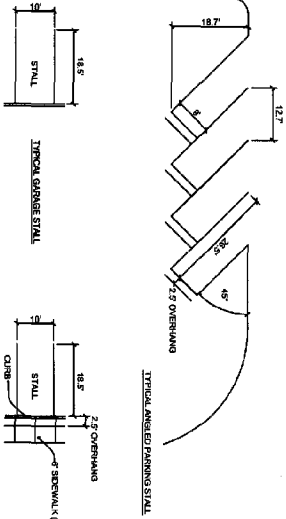
Mixed-Use Entertainment District

Employment District



Conceptual Parking Distribution

Building	# of levels	Parking	Parking spaces
Underground	Garage (sq ft)	(structured)	
R.1	3 UG	77694	294
R.2	3 UG	81377	294
R.3	1 UG	30438	111
R.4	1 UG	30910	112
R.5	1 UG	29270	106
R.6	1 UG	26169	95
R.11A	1 UG	29846	109
R.12	1 UG	25800	94
R.13	1 UG	27912	101
MUE-14	2 AG	5776	200
MUE-16	2 AG	56400	200
MUE-18	4 AG	137000	460
MUE-19	6 UG	116280	405
MUE-20	6 UG	226212	765
MUE-21	10 AG	442210	1540
MUE-22	4 UG	215228	760
MUE-23	6 UG	46700	635
MUE-24	2 UG	52546	191
MUE-25	2 UG	42921	135
MUE-26	1 AG	48015	170
MUE-27	3 AG	101633	360
MUE-28	3 AG	96578	340
MUE-31	3 AG	48015	170
E-41	3 AG	48015	170
E-42	3 AG	48015	170
E-43	3 AG	48015	170
E-44	3 AG	48015	170
Total		2,233,511	7,838



TYPICAL PARKING STALL DETAILS

Centrada

Planned Area Development

Exhibit 29

Parking Master Plan

Legend

- Underground Parking
- Above Ground Parking
- District Boundary
- Zoning Boundary
- Parking Provided

Residential District
Garage Parking Provided 1,316 spaces
Surface Parking Provided 214 spaces

Mixed Use Entertainment District
Garage Parking Provided 5,482 spaces
Surface Parking Provided 266 spaces

Employment District
Garage Parking Provided 1,040 spaces
Surface Parking Provided 606 spaces

SCALE: NOT TO SCALE



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5.7.2 Shared Parking

A conservative approach to providing an adequate supply of parking spaces for Centrada is intentional and a well established fundamental principle of downtown planning. Parking can consume 50 percent or more of the building and land area of a development. Furthermore, an oversupply of parking can result in excess storm drainage impacts and unnecessarily high expenses. Therefore, Centrada will utilize the concept of shared parking within the development. However, this PAD recognizes the potential negative impact that overflow parking can have on adjacent properties. The plan to promote conservative parking amounts must consider the relationship of proposed uses, the peak in parking demand, and walking distances to alternative overflow locations.

The key goal of shared parking is to establish the balance between providing adequate parking to support a development from a commercial viewpoint and minimize the negative aspects of excessive land area or resources devoted to structures of concrete and asphalt. According to the Urban Land Institute "Mixed-Use developments that share parking result in greater density, better pedestrian connections, and, in turn, reduced reliance on driving, typically because multiple destinations can be accessed by walking."

Parking reductions within Centrada can be justified using the following assumptions:

- The physical relationships among land uses and the ability to share parking, recognizing peak and off-peak demand for the various uses.
- Management strategies such as valet parking and on-site shuttle service.
- The availability of public transportation.

5.7.3 Mixed-Use Parking Reduction

Using Glendale's parking ratio for the collection of individual uses, the required parking for Centrada would be 10,964. However, the Glendale Ordinance also recognizes that a PAD should set a standard which is applicable to the development proposal defined within the PAD. A total of 8,924 spaces have been provided- a difference of 2,040 or a 18.6% reduction from the sum of the individual uses. As identified, within the PAD, the ability to share parking based on relationships among the land uses and anticipated peak and off-peak demands affiliated with the mix of uses has been discussed. This is a commonly used practice in mixed-use projects and supported/documentated by the Urban Land Institute. For the purpose of this PAD, the *Applicant* proposes a sliding scale affiliated with parking which directly relates to the planning and



development of multimodal transportation facilities within the contextual area. The following reductions will apply to the *Centrada* PAD:

- PAD base approval as a mixed use project: 10% reduction from the calculations affiliated with the collective uses (this recognizes peak and off-peak demand for the various uses);
- A 5% reduction if the Metropolitan Light Rail system is extended in the future to provide a Station within ½ mile from the subject site);
- A 5% reduction if the City of Glendale and property owners within the Stadium and Arena Context area form a public/private partnership to plan and develop a local transportation system (fixed rail, rubber wheel, elevated guideway, or other) to promote area wide trips through the operation of a Transportation Management Organization therefore reducing the reliance on private automobile trips.

At the discretion of the Planning Director with the input of the Transportation Department, during the design review process, a base parking reduction of 10% may be granted to the Master Developer of *Centrada* once the project meets the definition of a mixed use project.

Refer to Section 6.5 for the regulatory parking standards for the *Centrada* PAD

5.8



5.8.4 Landscape Lighting

The park, plaza and amphitheater provide areas for interacting and socializing. These areas should create an intimate environment and encourage pedestrian activity. While lighting landscape areas can be purely aesthetic, illumination should be adequate at the ground level for the protection and safety of the public relative to pedestrian and vehicular circulation patterns.



5.8 LIGHTING MASTER PLAN

Lighting is a vital component of defining space. While Centrada is a true mixed-use project, it is important to keep in mind that lighting should not have an adverse impact on adjacent uses. Therefore lighting fixtures and illumination should be a similar design and character as the project's building component, and at the same time respect adjacent properties. Lighting not only creates ambiance, but also provides personal safety at building entrances and exits, and in public assembly and parking areas. Centrada has been designed to consider all the above identified factors. (See Exhibit 30, Conceptual Lighting Master Plan, and Exhibit 31, Conceptual Lighting Sections)

5.8.1 Street Lighting

The roadways will be lit at the perimeter by a system that provides lights for walkways, and bikeways, as well as vehicular traffic, in accordance with City of Glendale standards. Lighting fixtures will be arranged and fully shielded to ensure that light reaches its intended surface without causing glare or light spill on adjacent properties.

5.8.2 Pedestrian Lighting

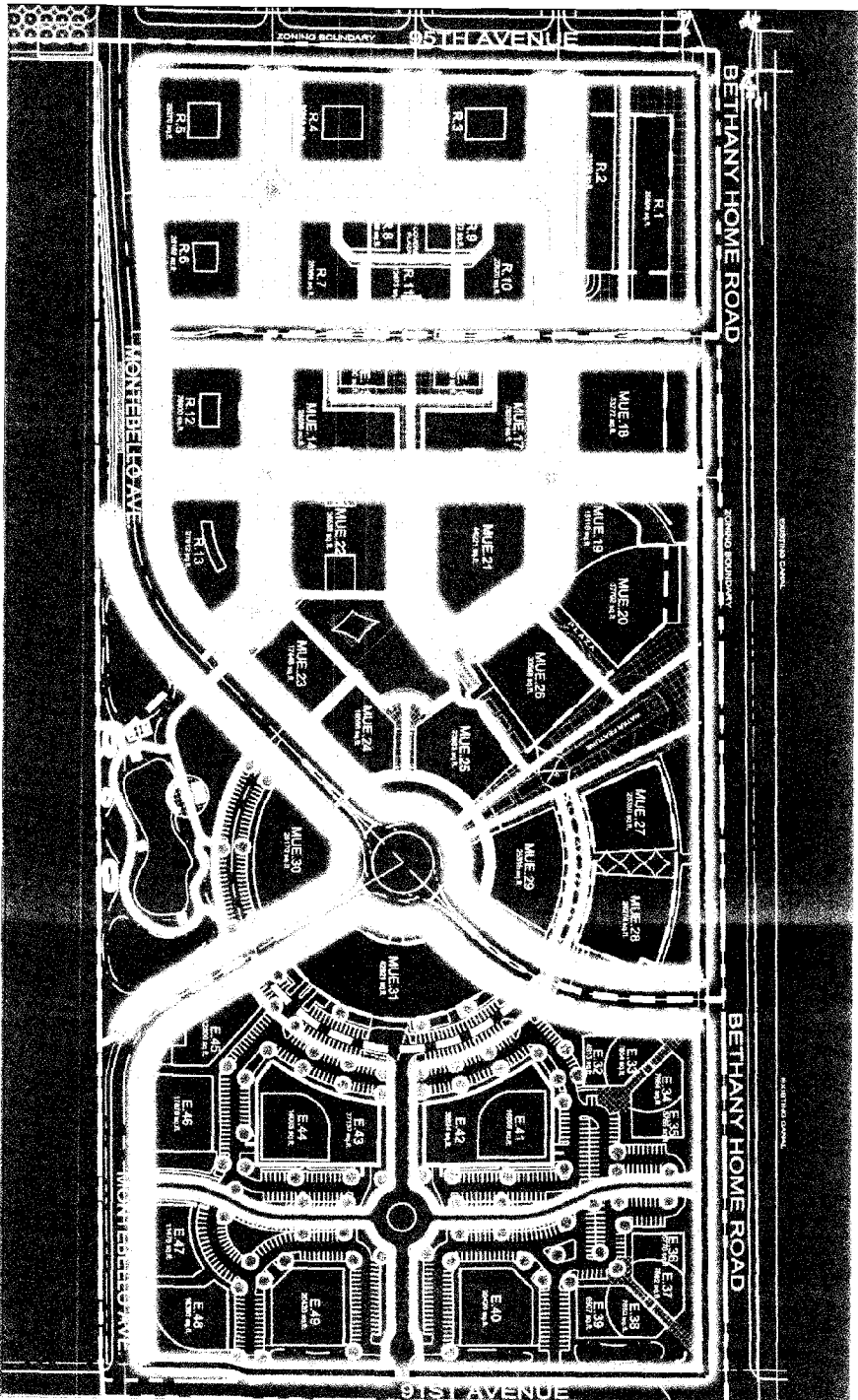
Pedestrian zones are an integral feature of Centrada. As visitors, residents and workers make their way between their origination and destination points, it will be important to provide clearly marked, well illuminated lanes of travel. Lights in the plazas, courtyards and parks should incorporate lighting into interesting pedestrian amenities such as sculptures, shading, and water elements. Ground level lighting can also be incorporated to create memorable yet safe, useable environments.

5.8.3 Architectural Lighting

Centrada is oriented along Bethany Home Road and 95th Avenue, adjacent to the Cardinals Stadium within the heart of Glendale's Sports and Entertainment District. Lighting within Centrada should leave a lasting impression on those passing by. Appropriately illuminating building facades will greatly influence the image, impression and visibility of Centrada as an active and prosperous village, where people live, work and play.

Retail, entertainment, and restaurant components should provide lighting that creates a clear delineation between areas for automobiles and places patronized by pedestrians as people come and go from these places of business.

Lighting should complement the buildings form and scale. The lighting design will vary in characteristics of color, brightness, texture, and pattern for visual interest and compatibility among buildings.



Centrada

Planned Area Development

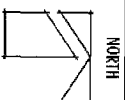
Exhibit 30

Conceptual Street Lighting Plan Master Plan

Legend

- ☐ Residential - Local (HS Category: Local Street) 0.7 ft avg.
- ☐ Mixed-Use - Local (HS Category: Local Street) 0.7 ft avg.
- ☐ Collector (Minor/Major) (HS Category: Collector Street) 0.9 ft avg.
- ☐ Major/Minor Arterial (HS Category: Major Street) 1.3 ft avg.
- ☐ Primary Pedestrian Circulation Lighting Route
- ☐ Parking Area Lighting (1.0 ft avg.)
- ☐ District Boundary
- ☐ Zoning Boundary

SCALE: NOT TO SCALE

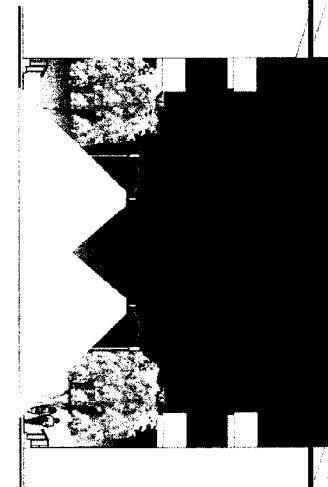
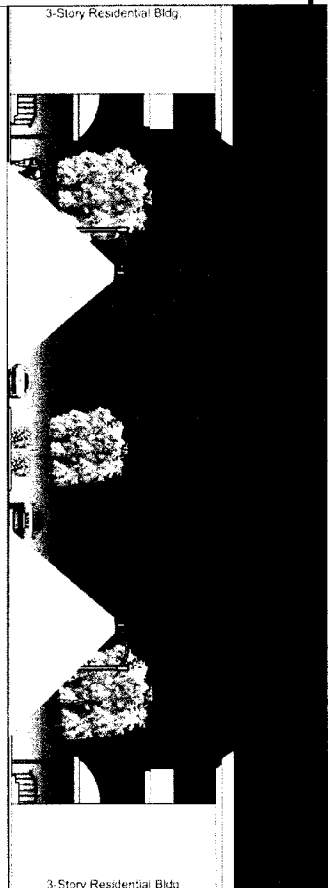


PREPARED FOR CONSTRUCTION
CENTRADA LAND DEVELOPMENT, L.L.C.

Date: 7/31/2008 Project No. 0728

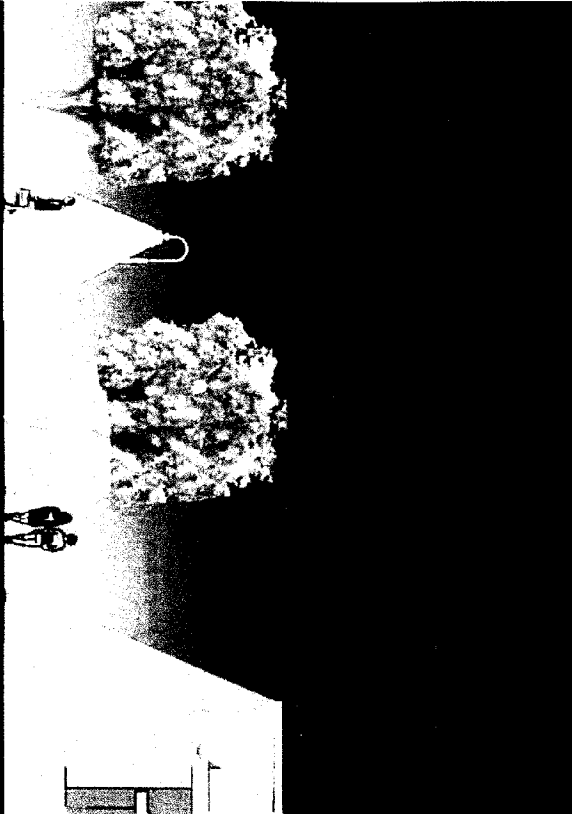
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Minor Collector Street Character Section
(Residential/Mixed Use Entertainment District)

Local Street Character Section
(Mixed-Use District)

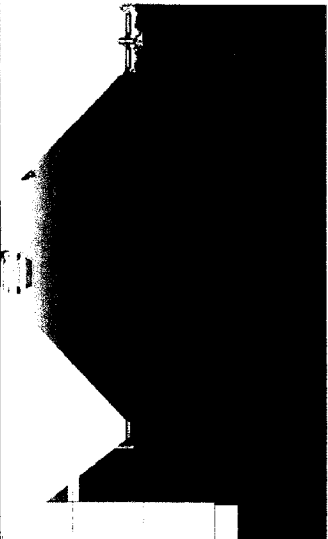


PEDESTRIAN

Departing from the roadway, parking areas bridge the transition to pedestrian areas, where to its street character height. In addition, urban areas should decrease in scale, and have more decorative features to be appreciated at the pedestrian level.



Local Street Character Section
(Residential District)



Parking Lot Area Character Section
(Employment District)

Centrada

Planned Area Development

Exhibit 31
Conceptual Lighting Sections

SCALE: NOT TO SCALE

PRELIMINARY NOTICE: CONSTRUCTION

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Date: 5/20/2008

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Page 111

#5.9



5.9 SIGN MASTER PLAN

This section of the *Centrada* PAD defines the criteria for exterior signs. For further information regarding sign standards, see Development Standards Section 6.6 of the PAD.

A staged approach is necessary to regulate signs within the various phases of development. The signs will be appropriately scaled and will establish a design theme. Because this project is multi-faceted and will be developed in phases, the specific locations for various sign types are tentatively identified on Exhibit 32, Conceptual Sign Location Plan and Exhibit 33, Conceptual Way Finding/Directional Sign Location Plan. The exact sign envelopes for various buildings and final sign locations will need to be addressed as the phases are more fully developed and complete building elevations have been established. Accordingly, the comprehensive sign plan will be supplemented with specific phased specifications, variations or considerations as the development of the phased areas becomes more defined and to be administratively approved based on the general conformance of the sign plans with the design theme set forth in the Design Elements, and standards within the Development Standards Section of this PAD.

The purpose of the development standards for signs is to provide basic parameters and promote an overall uniformity for the project. All signs shall be *structurally designed, constructed, erected, and maintained* in accordance with all applicable provisions and requirements of the City of Glendale *Building Codes*. For the purpose of this PAD, signs will be discussed in general terms to identify the general character typical design.

This section of the PAD will address the following types of signs:

- 5.9.1 Primary Project Identity
- 5.9.2 Secondary Project Identity
- 5.9.3 Vehicular Way-Finding
- 5.9.4 Pedestrian Way-Finding
- 5.9.5 Garage Graphic Murals
- 5.9.6 Hotel Identification
- 5.9.7 Residential District
- 5.9.8 Mixed-Use Entertainment District
- 5.9.9 Employment District
- 5.9.10 Parking Signage
- 5.9.11 Temporary Signage

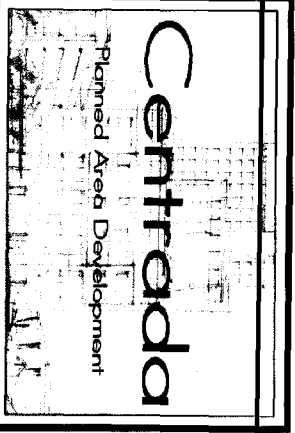


Exhibit 32

Conceptual Identification Sign Location Plan

Legend

- Primary Building Identifiers
- Retail/Pedestrian Level Sign Locations
- Monument Sign - Project Identifiers
- District Boundary
- Zoning Boundary

NORTH

SCALE: NOT TO SCALE

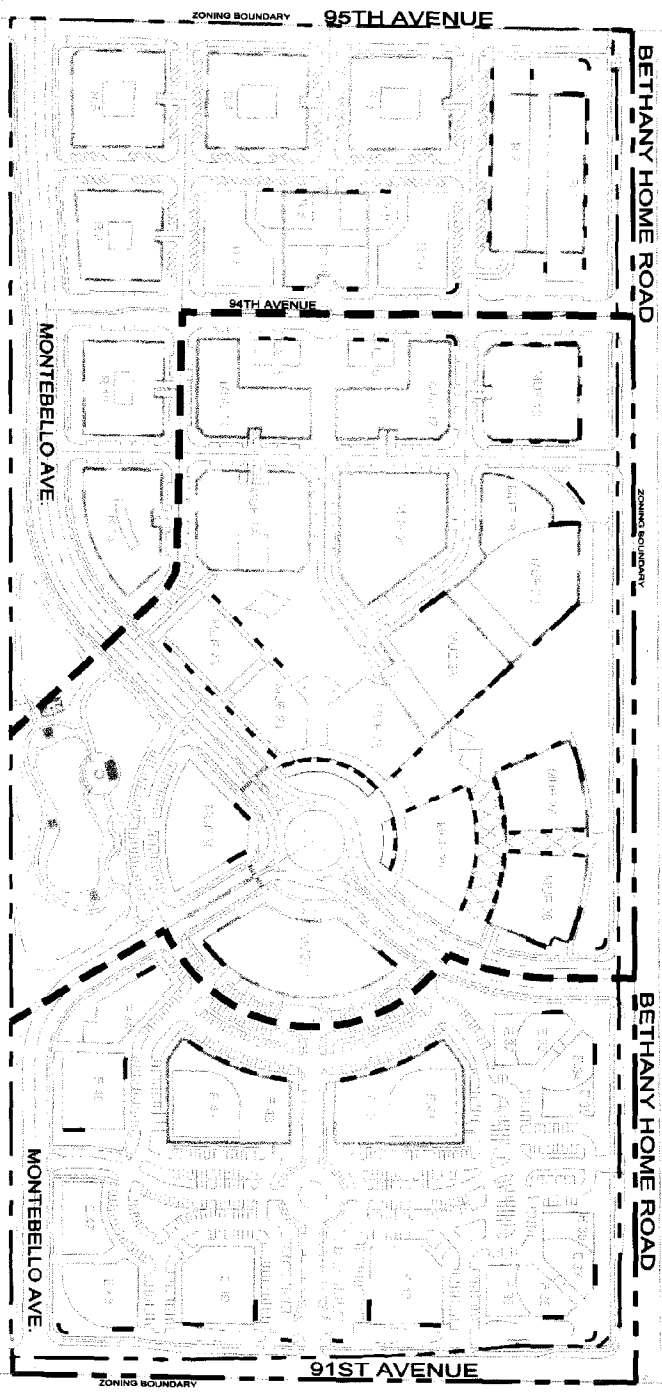
PRELIMINARY: NOT FOR CONSTRUCTION

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Centrada

Planned Area Development

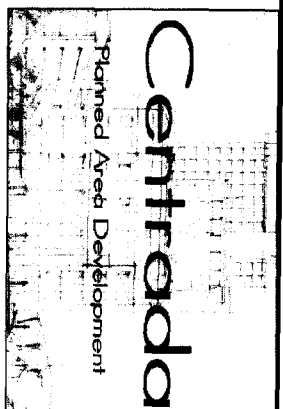








Exhibit 33

Conceptual Wayfinding/

Directional Sign Location Plan

Legend

-  Public Wayfinding/Directional Sign (Pedestrian Level)
-  Street Location Identifier (Vehicular)
-  Public Parking Location Identifier
-  Private Parking Location Identifier
-  District Boundary
-  Zoning Boundary

NORTH

SCALE: NOT TO SCALE



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CENTRADA URBAN DESIGN STUDIO, LLC

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5.9.1 Primary Project Identity

These signs provide identification for *Centrada* and tenants within the entire project site for travelers along 95th Avenue, 91st Avenue and Bethany Home Road. These signs include:

- Signs that are approximately 20' (foot) tall, approximately 150 square feet, double-sided internally illuminated monument signs located along the perimeter roads of *Centrada* to provide street level identification for tenants.

5.9.2 Secondary Project Identity

These signs provide identification internal to the project. These signs will be located at internal roadway entrances and intersections and positioned on walls, pylons or way-finding elements. They will be a cohesive system and will incorporate common elements such as color iconography, pictograms and typography. They will be sized to be read by pedestrians and passing motorists and appear as integral elements supporting the visual character of the project.

- Signs that are approximately 6'8" high by 10'-15' wide, single or double-faced, approximately 40 to 100 square feet and internally illuminated for night navigation.

5.9.3 Vehicular Way-Finding

These signs are placed in strategic locations typically at intersections and key decision points to guide the visitor to the different Districts of *Centrada* and indicates the amenity such as office, plaza's, and major anchors.

- Signs that are approximately 10'-18' tall and the width will be appropriate to prevent blockage. The signs will be internally illuminated from the ground or the sign itself.

5.9.4 Pedestrian Way-Finding

These signs will be used to direct people to different points of interest within each District. Using the way-finding signs, they will be able to navigate through the urban city *streetscapes* to various destinations and points of interests. This smaller scale signage will be located on secondary and tertiary streets to guide the pedestrian to comfort areas such as restrooms, elevators, ramps, and major urban features of *Centrada*. The sign may be pole mounted, freestanding or attached to architectural surfaces when appropriate. The directional signage will incorporate decorative elements that help link the signage together with the architecture and landscaping of each district.



5.9.5 Garage Graphic Murals

A mixed-use project with an urban theme could not be a reality unless structured parking was carefully integrated into the project. While most of the first and second floors of the parking structures will be wrapped with *retail* and restaurant space it still leaves a number of levels of the parking structure exposed. It is envisioned that these areas will be enhanced with integrated murals and art displays. These graphics will be designed in varying sizes using vertical or horizontal configurations and installed on multiple levels of the parking garage structures facing the street. The displays may be used to identify various services and products within the development.

5.9.6 Hotel Identification

Two *hotels* are planned for *Centrada*. Each *hotel* is expected to have signage at the street level and parapet-level identification.

- The *hotel* signs may be positioned at the building façade or entry.
- Sign sizes will be determined by lineal footage criteria (3 s.f. per lineal foot of frontage not to exceed 300 s.f. per sign or exceed the total aggregate per business.
- Digital/vinyl lettering on entry doors (applied to the outside of the door) is acceptable. Auxillary signs such as a Spa, Ballroom, Meeting Room, Main Entrance signs, etc. can also be mounted to the outside of the building.
- Upper stories may be used to identify the structure. Signs are permitted on all applicable elevations with sign sizes differing depending on exposure and legibility. The signs should not exceed six (6) feet in height and total not more than 450 square foot per sign, unless approved by the *Centrada Design Review Committee*.
- All *Hotel* wall signs can utilize internally illuminated or non-illuminated pan channel, reverse channel or cut-out dimension letters. Illumination can be neon or LED. Logo types can be fabricated using free-formed cabinets that are illuminated with fluorescent or other forms of internal illumination. Blade and awning signs are also acceptable. In the event there is a structural installation impediment, raceway signs can be used.

5.9.7 Residential District

Residential units are found throughout the project. While all units are 'attached' units, some will be 'for sale' units and others will be apartments. Residential signage will include street addresses and building names that should be applied to facades, glass entries, canopies or awnings. These elements will be constructed of high quality and long lasting materials that are carefully integrated with the architectural design of each structure.



- The building name may be identified at each primary entrance.
- The sign must be positioned on the building's façade or entry.
- The maximum height for street level signs is 30'-80' with letter height not to exceed 24" (inches).
- Various types of signs are acceptable such as cut out dimensional letters and logos, pin mounted to the façade with fabrication in metal. Cast metal plaques, etched glass, etched or carved stone are acceptable sign materials.
- Awnings with appliqué graphics are acceptable. The letters on the awnings should not cover any more than 2/3 the length of the awning and if used, have a maximum letter height of 8" (Inches).
- Digital or vinyl graphics are acceptable for window identification.

5.9.8 Mixed-Use Entertainment District

Signage in the Mixed-Use Entertainment District will allow for the identification of the various buildings to include residential, *retail*, office, *hotel*, and parking. The signage design should allow for adequate identification of the business or use while maintaining a consistent theme through the use of design and materials. The signs should complement the urban environment and establish the overall character of the project.

- *Retail* signs should be situated within the storefront design to be balanced and in scale with the architecture and in proportion with other signs on the building and in the area.
- Identification of tenants will include: fascia mounted signs, glass storefront identity applications, perpendicular blade signs, awnings, and wall mounted plaques.

5.9.9 Employment District

The signage for the Employment District is intended to allow for adequate identification of businesses and create a cohesive set of standards for the benefit of the tenants. Tenants will be encouraged to consider designs and materials that will reflect the urban environment as well as the aesthetics of the building facades and overall project character.

- Sign sizes will be determined based on lineal footage criteria and a total aggregate per building. The tenant will submit drawings to the Centrada DRC and City of Glendale for approval.
- Buildings may be identified at each primary entrance that provides pedestrian access to the main lobby.
- The sign may be positioned on the building façade or entry.
- The sign should be limited to the company or corporate names
- Tenants that occupy more than one or more floors in an office building will be allowed graphic identifiers. Tenants that occupy less than one floor will be granted a graphic identifier but will be smaller than the tenant that has one or more floors.



- Office buildings may be identified at the upper stories of the structure levels.
- Signs are permitted on all applicable elevations with sign sizes differing depending on exposure and legibility.
- Signs may be internally illuminated or non-illuminated pan channel, reverse panel channel, or cut-out dimension letters. Illumination can be neon or LED. Logo types can be fabricated using free-formed cabinets that are illuminated with fluorescent or other forms of internal illumination. Raceway signs can be used in the event that there is a structural impediment and has prior approval from the Centrada DRC.

5.9.10 Parking Signs

Parking at Centrada is a key amenity and convenience for residents, tenants, visitors, and employees. The majority of vehicular parking will be accomplished through the provision of parking structures. The identification of parking facilities will be visible, easy to find and paths of travel clearly defined.

- Blade signs, wall signs and gateway features will identify these areas.
- Signs will be labeled for entrance and exit locations.

5.9.11 Temporary Signs

Temporary signs, for festivals or *special events*, will be needed to promote the various activities planned throughout the year.

- Signs may be fabric or mesh banners that are attached to light poles, building facades, or shade structures.
- Signs are limited to a display period of 90 days.
- Themed elements identifying the event or show could include banners, sculptures, art pieces, freestanding signs, or stages with varying types of displays.
- All signs must be submitted to the Centrada DRC for approval.

Centrada

Master Plan

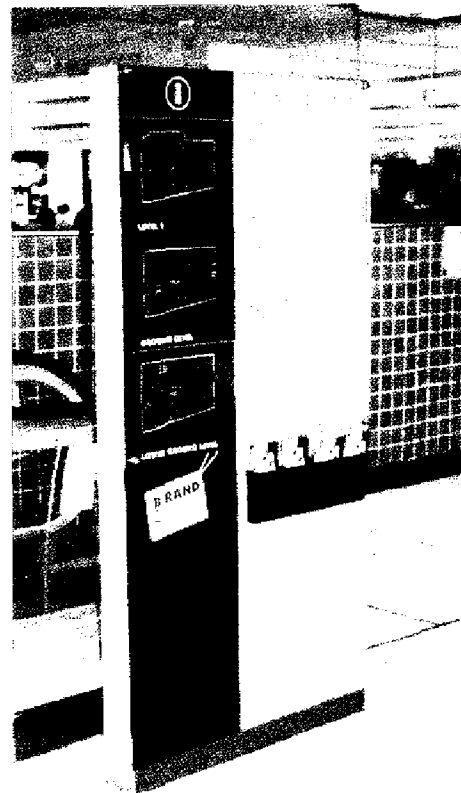
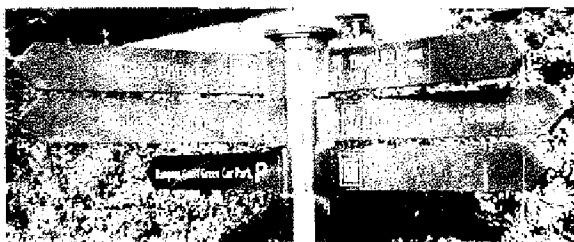
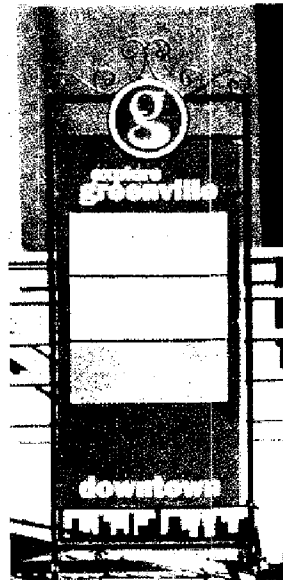
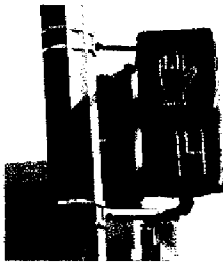
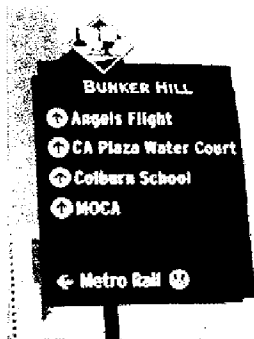
Vehicular way-finding signs are placed in strategic locations typically at intersections and key decision points to guide the visitor to the different districts of Centrada and indicates the amenity such as office, plazas and major anchors



Centrada

Master Plan

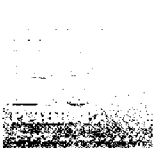
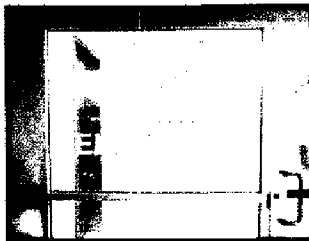
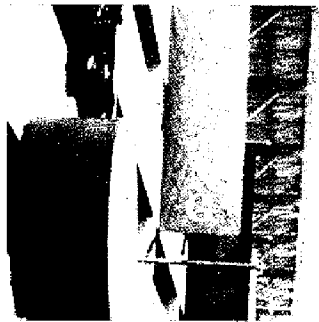
Pedestrian way-finding signs will be used to direct people to different points of interest within each district. Using the way finding signs, they will be able to navigate through the urban streetscape to various destinations and points of interest.



Centrada

Master Plan

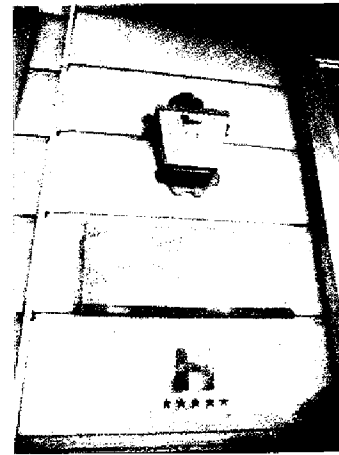
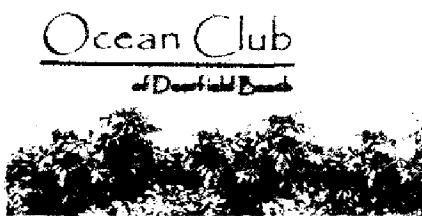
While most of the first and second floors of the parking structures will be wrapped with retail and restaurant space it still leaves a number of levels of the parking structure exposed. It is envisioned that these area will be enhanced with intricate murals and art displays.



Centrada

Master Plan

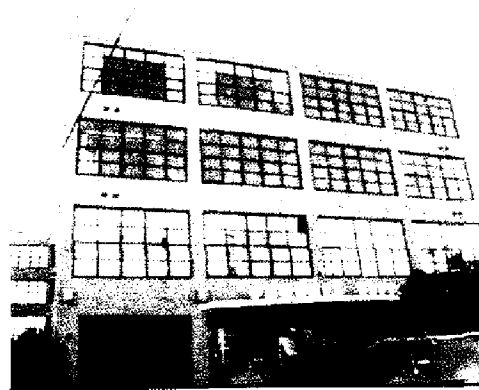
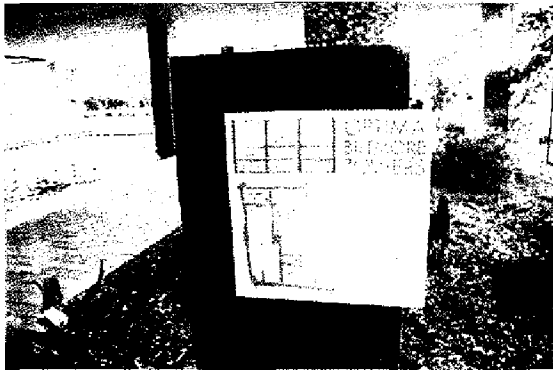
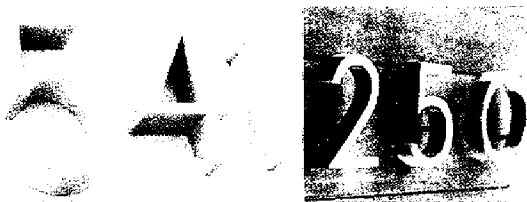
Two Hotels are planned for Centrada. Each *hotel* is expected to have signs at the street level and high-level identification.



Centrada

Master Plan

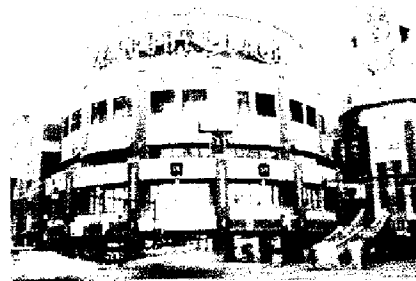
Residential units are found throughout the project. While all units are 'attached' units, some will be 'for sale' units and others will be apartments. Residential signs will include street addresses and building names that should be applied to facades of high quality and lasting materials or awnings.



Centrada

Master Plan

Signs in the Mixed-Use Entertainment District will allow for the identification of the various buildings to include residential, retail, office, hotel, and parking. The signs design should allow for adequate identification of the business of use while maintaining a consistent theme though the use of design materials.



Centrada

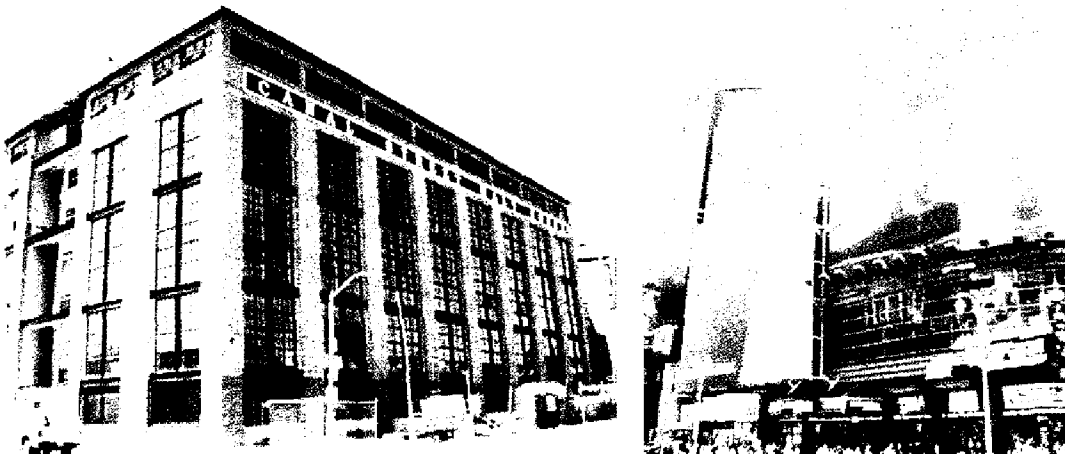
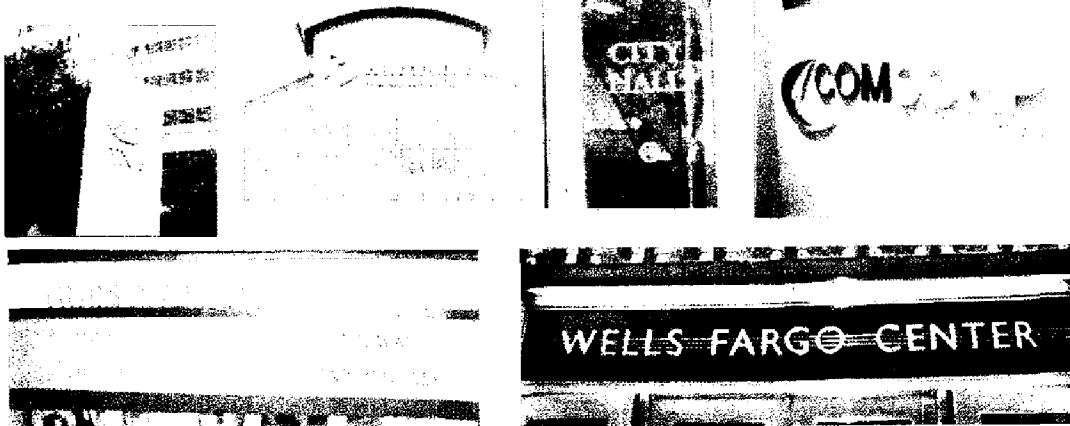
Master Plan



Centrada

Master Plan

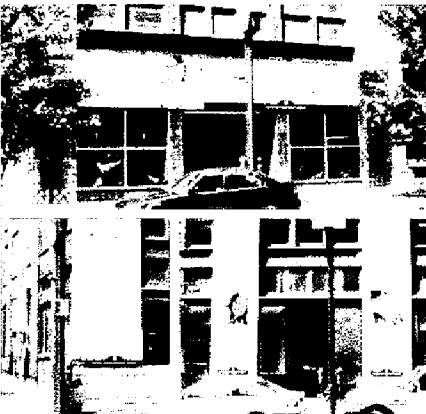
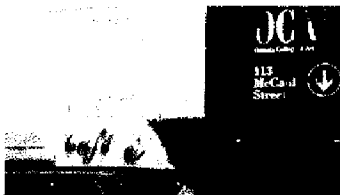
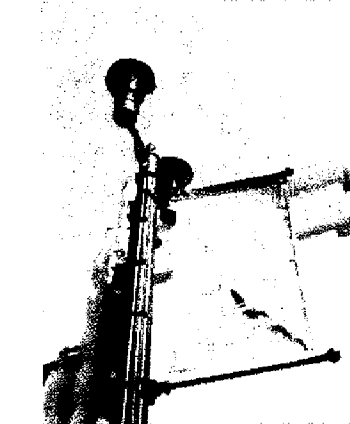
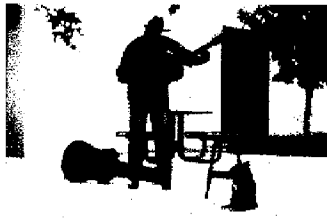
The signs for the Employment District are intended to allow for adequate identification of businesses and create a cohesive set of standards for the benefit of the tenants. Tenants will be encouraged to consider designs and materials that will reflect the urban environment as well as the aesthetic of the building facades and the overall project character.



Centrada

Master Plan

Temporary signage, for festivals or special events, will be needed to promote the various activities planned throughout the year.



5.10



5.10 WATER MASTER PLAN

The Centrada Master Water Report has been prepared by CMX, LLC, in accordance with City of Glendale design requirements. The Master Water Report is intended to identify the overall water system requirements, establish the water system design guidelines, and provide the locations and sizes of the proposed major water infrastructure required to provide potable water for the development.

Based on the anticipated land uses, population projections, and design criteria described in the Master Water Report, the buildout water demands for the development are 1,662 gallons per minute (gpm) for Average Day Demand, 2,991 gpm for Maximum Day Demand, and 5,085 gpm for Peak Hour Demand. It is assumed that onsite booster pumps will be provided where necessary to supply water to the upper floors of the taller buildings.

Fire flow requirements are determined by the criteria specified in the 2003 International Fire Code. Based on the building areas, the maximum required fire flow will be 8,000 gpm assuming the most conservative building construction type. This may be reduced as the actual construction type is finalized or with the installation of an approved automatic fire sprinkler system installed in accordance with Section 903.3.1.1 or 903.3.1.2 of the International Fire Code. As such, a 50% reduction in fire flow is allowed to be applied where sprinkler systems are used, resulting in a maximum fire flow requirement of 4,000 gpm while maintaining residual pressures in the system above 20 pounds per square inch (psi).

The project site is located within pressure zone I per the City of Glendale Water Distribution System Zones. Currently, the existing water system infrastructure near the site includes a 12-inch water main along 91st Avenue, a 16-inch water main in Bethany Home Road (west of the intersection of 95th Avenue) and a 16-inch water main along 95th Avenue (north of Bethany Home Road). The 16-inch water main in 95th Avenue connects to both the 16-inch water main along Bethany Home Road and the existing 20-inch water transmission main parallel to Bethany Home Road north of the outfall channel.

The proposed onsite water system for Centrada consists of 8-inch and 12-inch water lines interior to the development. A 16-inch water main is proposed within Bethany Home Road, north of the property, to distribute flow to the development and connect to the regional system. A 12-inch water main along 95th Avenue also is proposed, consistent with regional water system management. (See Exhibit 34, Water Master Plan, and Appendix H: Water report).

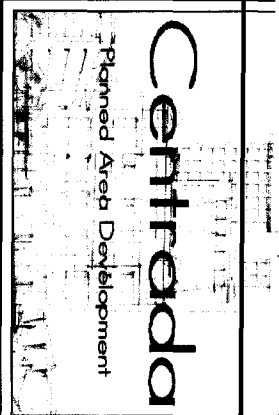


Exhibit 34

Water Master Plan

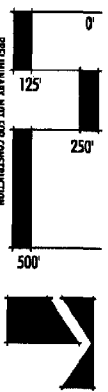
Legend

- Project Boundary
- District Boundary
- Proposed Water Main
- Existing Water Main
- Junction
- Pump
- Reservoir

Pipe diameter (in)

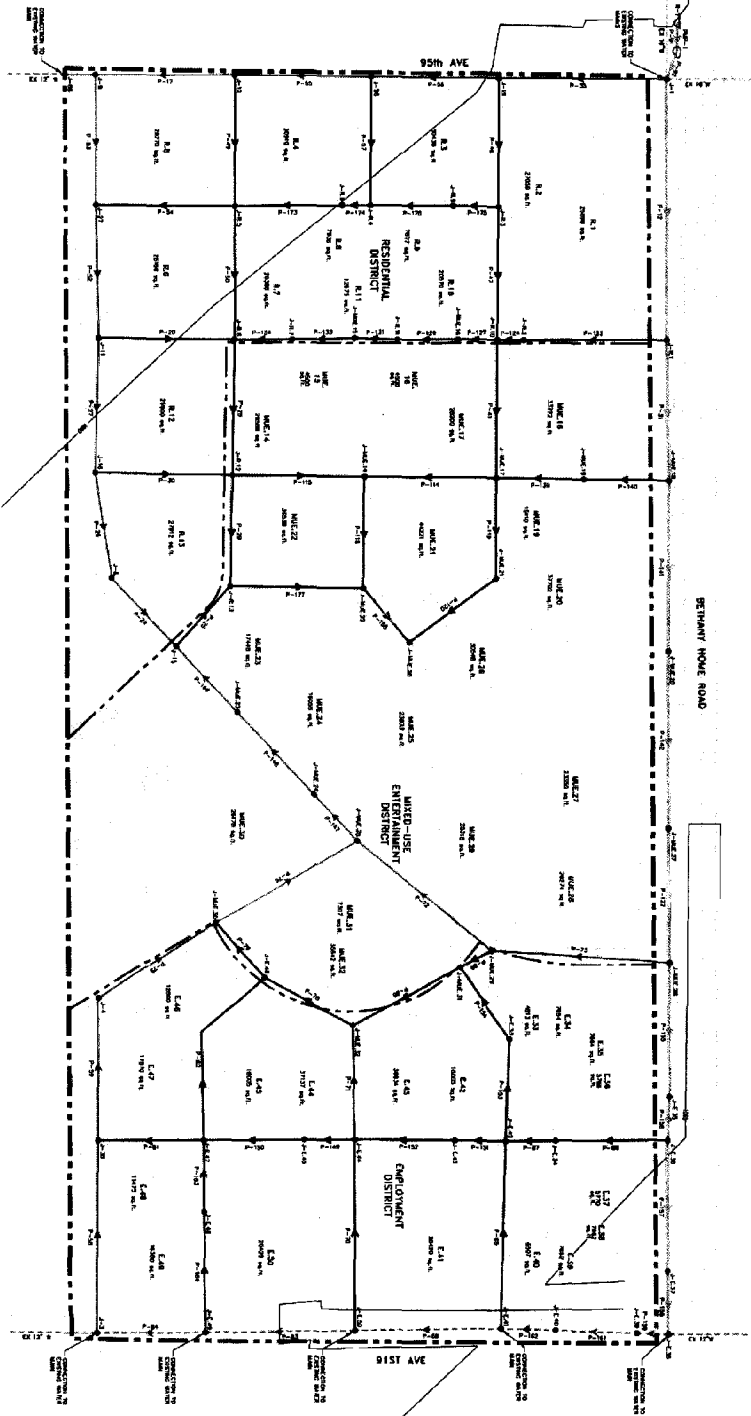


SCALE: 1" = 250'



PRELIMINARY NOT FOR CONSTRUCTION
CENTRADA URBAN DESIGN STUDIO LLC
Date: 5/21/08
Project No. 0728

CVA urban design studio
land planning • landscape architecture
120 south oak avenue • tempe, arizona 85281 • phone: 480.994.0994



NOTES:

1. PROJECT BOUNDARY LIES WITHIN PRESSURE ZONE 1.
2. THE FLOW TEST WAS PERFORMED ON MARCH 25, 2008 AT 6:45 A.M. ON THE 100' DIAMETER MAIN LOCATED WEST OF 95TH AVENUE. THE WATER SOURCE WAS MODELED AS A RESERVOIR WHICH ARE FOR MODELING PURPOSES ONLY AND WILL NOT BE CONSTRUCTED.
3. THE SYSTEM DESIGN IS BASED ON EXISTING ELEVATIONS.
4. EXISTING WATER MAIN LOCATIONS ARE APPROXIMATE BASED ON AS-BUILT DRAWINGS AND CITY OF GLENDALE QUARTER SECTION MAPS.
5. THE PROPOSED WATER MAINS ARE SCHEMATIC AND SUBJECT TO CHANGE. WATER MAINS WILL BE INSTALLED ALONG EXISTING AND/OR PROPOSED STREETS AND RIGHTS-OF-WAY.
6. THE SQUARE FOOTAGE FOR THE BUILDINGS REPRESENT THE BUILDING FOOTPRINT AND NOT THE TOTAL SQUARE FOOTAGE OF THE BUILDING. PLEASE SEE TABLE B1 IN THE REPORT FOR THE TOTAL SQUARE FOOTAGE.

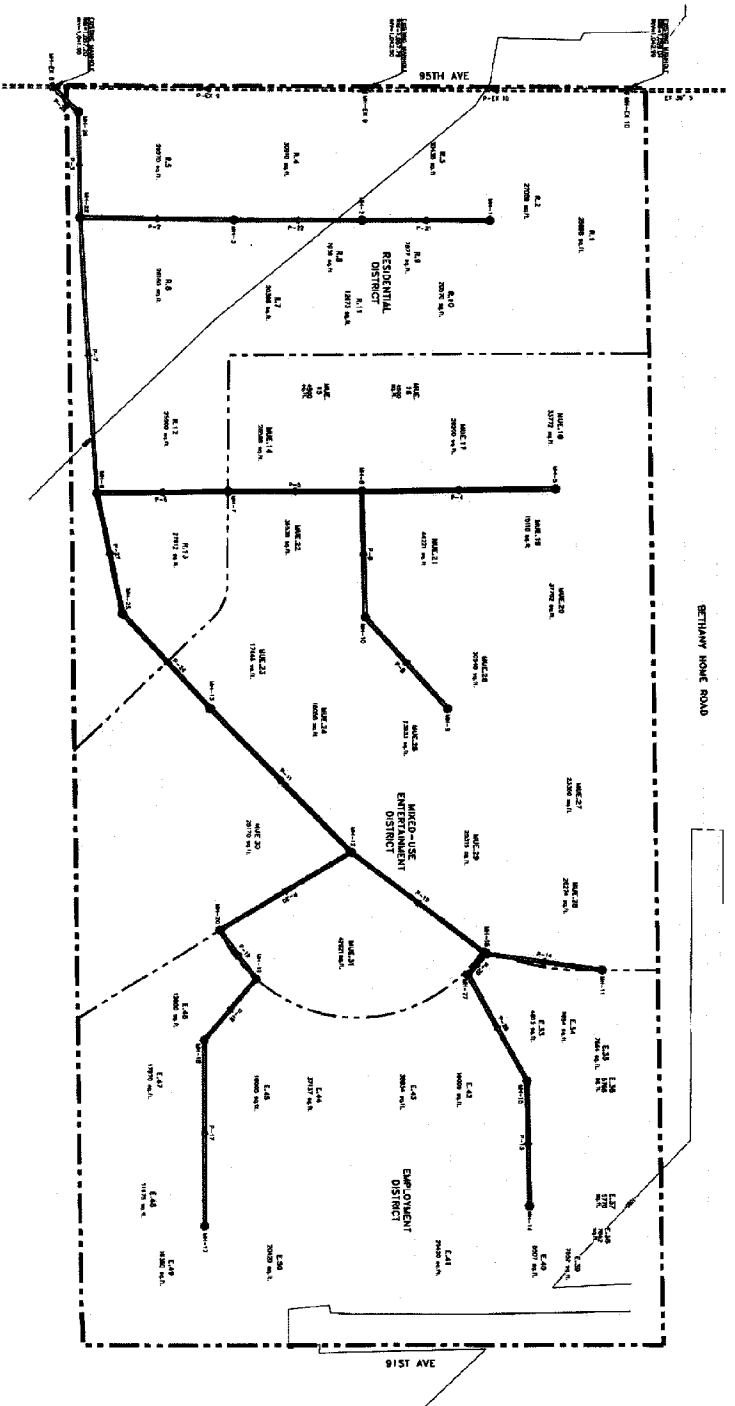
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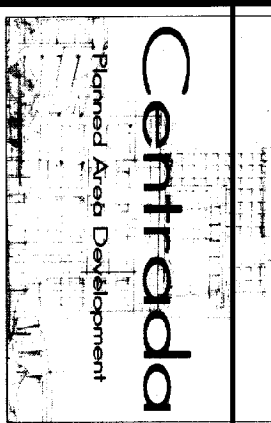
5.11 WASTEWATER MASTER PLAN

Centrada lies within the City of Glendale's wastewater service area. The City will serve as the wastewater provider for the development. Conversations with City of Glendale personnel have indicated that there may be capacity issues with the 36-inch sewer line in 95th Avenue in proximity to Camelback Road as well as within the 48-inch sewer main in Camelback Road. The City of Glendale is currently evaluating the system, looking at the development in the surrounding area and the anticipated wastewater flow generation to determine a solution that will be able to handle the existing and projected wastewater flows. The schedule for the completion of the study and implementation of the sewer solution is currently unknown.

The proposed wastewater system is designed to convey the peak onsite wastewater flow of 2.7 MGD through Centrada to the existing 36-inch sewer main along 95th Avenue at the southwest corner of the site. The onsite sewer lines range in size from 8 inches to 18 inches in diameter. Due to the existing sewer being HOBAS® pipe, connections may only be made at existing manholes. (See Exhibit 35, Wastewater Master Plan, and Appendix I: Wastewater Report).



1. THE ALIGNMENT AND LOCATION OF THE PROPOSED WASTEWATER SYSTEM INFRASTRUCTURE IS CONCEPTUAL AND SUBJECT TO CHANGE.
2. ALL SEWER MAINS WILL BE LOCATED WITHIN FUTURE STREETS OR EASEMENTS.
3. THE PROPOSED WASTEWATER SYSTEM IS BASED ON EXISTING GROUND ELEVATIONS.
4. RIM AND INVERT ELEVATIONS OF THE EXISTING SEWER INFRASTRUCTURE IS OBTAINED FROM THE CITY OF GLENDALE AS-BUILT 29170 DATED AUGUST 13, 2003.
5. THE LAND PLAN IS CONCEPTUAL AND SUBJECT TO CHANGE.
6. CONNECTIONS TO THE EXISTING SEWER MUST BE MADE AT AN EXISTING MANHOLE DUE TO PIPE MATERIAL.
7. THE DESIGN OF THE PROPOSED SYSTEM DOES NOT ATTEMPT TO MATCH THE INVERT OF THE EXISTING SEWER, BUT RATHER DETERMINES THE REQUIRED INVERT ELEVATION AT 95TH AVENUE IN THE EVENT THAT THE ULTIMATE SEWER SOLUTION BY THE CITY OF GLENDALE IS A PARALLEL SEWER. AS THE SEWER SOLUTION IS NOT KNOWN, THE EXISTING INVERT, A CONNECTION TO THE EXISTING SEWER IS FEASIBLE AS WELL.
8. THE SQUARE FOOTAGE FOR THE BUILDINGS REPRESENT THE BUILDING FOOTPRINT AND NOT THE TOTAL SQUARE FOOTAGE OF THE BUILDING. PLEASE SEE TABLE B1 IN THE REPORT FOR THE TOTAL SQUARE FOOTAGE.



Wastewater Master Plan

Exhibit 35

Legend

- Project Boundary
- District Boundary
- Onsite Sewer Main
- Existing Sewer Main
- Existing Man Hole
- Existing Man Hole

Link: Rise (ft)

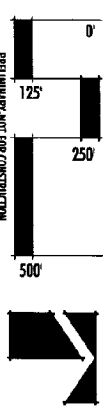


Node: Structure Depth (ft)



SCALE: 1" = 250'

NORTH



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#5.12

5.12 STORMWATER MASTER PLAN

Flows that approach Centrada from upstream watersheds are directed around the site in existing drainage facilities. The Bethany Home Road Outfall Channel (BHROC), also known as the Bethany Home/Grand Canal Flood Project, was constructed as a joint effort between the Flood Control District of Maricopa County, the City of Phoenix, and the City of Glendale. This channel, which is located just north of Bethany Home Road in the section located adjacent to Centrada, collects the 100-year runoff that approaches the Grand Irrigation Canal between 67th Avenue and the Loop 101/Agua Fria Freeway. These captured flows are conveyed to the Agua Fria Freeway outfall channel which ultimately discharges to the Agua Fria River. The BHROC prevents flows from approaching Centrada from watersheds north of Bethany Home Road.

Flows produced by the agricultural land located across 91st Avenue from Centrada's eastern boundary are conveyed south and southwest. Any of these flows that reach the east side of 91st Avenue adjacent to Centrada are conveyed south within a roadside swale. The swale continues on southward beyond the Montebello Avenue alignment, which marks the southern boundary of Centrada. As such, these flows will not impact the Centrada property. Runoff generated on lands located south and west of Centrada drain away from the site.

Flows generated on-site under existing conditions sheetflow to the southwest. The natural grade, existing berming and irrigation canals ultimately convey these flows to the southwestern corner of the site. This corner serves as the outfall for the Centrada property. Any flows that reach this point break over the intersection of the 95th Avenue and Montebello Avenue alignments and enter the agricultural fields southwest of the site. Please refer to (See Appendix I: Drainage Report).

#5,13



5.13 PHASING

Development phasing for Centrada strives to achieve a balanced, sustainable approach to the land use implementation. See Exhibit 36, Development Phasing Plan, for a depiction of the conceptualized development phasing and estimated time duration of each phase.

This plan summarizes a land use approach that carefully examines residential and office absorption, saturation and critical mass as well as appropriate implementation of *retail* and hospitality uses over time.

Adjacent infrastructure and street development would be expected to occur with each development phase. Off-site improvements and access roadways leading into the project shall be constructed with adjacent development phases or as required by the City of Glendale upon specific *Site Plan* review.

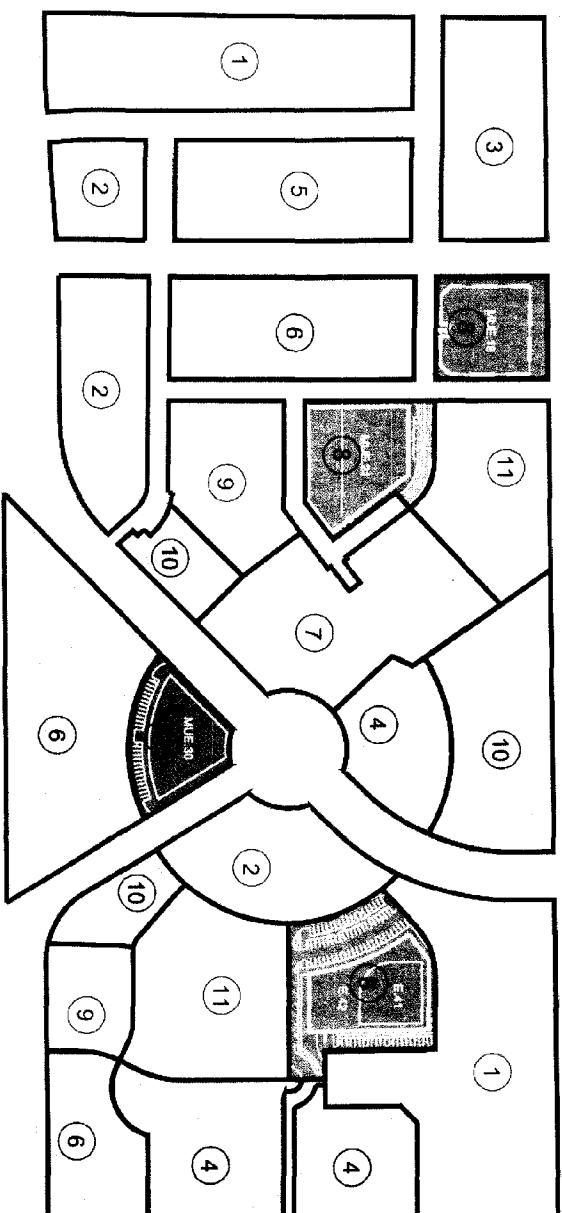
Centrada

Planned Area Development

Exhibit 36

Development Phasing Plan

PHASE	YEARS	DEVELOPMENT	OFFICE	RETAIL	HOTEL
1	2010-2011	187	229,908		
2	2011-2012	114			300 RNS
3	2012-2013	100	102,914	52,957	
4	2013-2014	12	122,290	50,630	
5	2014-2015	64		28,486	
6	2015-2016	228	83,565	9,000	
7	2016-2017	26	29,207	55,765	360 RNS
8	2017-2018	42	171,250	49,119	
9	2018-2019	120	155,740	36,538	
10	2019-2020	10	25,600	11,606	
11	2020-2021	43	1,055,948	67,655	
12	2021-2022	24		36,170	

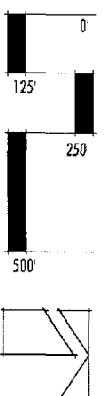


Note: Transportation
Please one street improvements will respond to the specific development
proposal. The improvement will be determined during the development review
process with the consideration of safe, sufficient and reasonable access to
proposed development intensities/densities while responding to proportionality
and rational nexus.

Note: Land Use
This development phasing plan is intended to demonstrate the sequential
implementation of the illustrative Land Use Master Plan. The actual phasing
of the Centrada PAD will respond to cyclical market demands for residential,
office, retail and hospitality uses. As such, this plan should be used as an
indication of development phasing intent and the corresponding off-site and
on-site infrastructure that supports the land uses. It is the expressed intent of
this PAD to permit administrative amendments to this Land Use Master Plan
as proposed by the Applicant and acknowledged by the City of Glendale
Planning Director.

SCALE: 1" = 250'

NORTH



PRELIMINARY NOT FOR CONSTRUCTION
(OFFICIAL VIA AERIAL DESIGN STUDIO, LLC)

Date: 8/04/2008

Project No. 0728

urban design studio
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#6.1



6. DEVELOPMENT STANDARDS

The Development Standards chapter of the Centrada PAD includes regulatory provisions designed to promote the land use and development vision for the project site while ensuring the protection of the public health, safety and welfare.

6.1 PURPOSE AND INTENT

It is the purpose of these provisions to promote the development of an urban, intense, multi-use, multilevel, highly active destination offering a balance of housing, office, *retail*, restaurant, *hotel* and entertainment uses. Further, the design is intended as a compact environment integrating high-density residential lofts/condominiums, shopping, employment and amenities. This section is intended to provide the regulatory zoning provisions designed to guide the implementation for the community "vision" through the plan review and development permit processes. The provisions provided below shall apply to all property (see Appendix A, Property Legal Description and Boundary Map) intended for development under the Centrada PAD. The zoning and development provisions provided below are intended to supersede the provisions provided by the City of Glendale Zoning Ordinance (as adopted and periodically amended). In the event of conflict between a development standard, a defined development procedure or a defined term between the City of Glendale Zoning Ordinance and the Centrada PAD, the Centrada PAD shall prevail.

The Centrada PAD is the synthesis of numerous concepts, procedures, goals and regulations affecting all aspects of development within the project site. As such, it is this document, which will legally guide, control and regulate development of this very important project within the City of Glendale. Centrada represents an opportunity to create a truly unique urban living environment clustered around the stability and sustainability of mixed land use. Centrada will strive to set a standard of development sensitivity and quality that will serve as a model for the surrounding community for many years to come.

#6.2

6.2 LAND USE

The following list of uses is intended to define authorized principle uses within **Centrada**. This list is descriptive in nature and does not necessarily represent the full extent of permitted uses. The Master Developer or any property owner within the defined limits of **Centrada** may request an interpretation of *analogous* use to the defined list below from the City of Glendale Planning Director. The Planning Director may administratively approve a use *analogous* to those listed below.

6.2.1 Permitted Land Use Table

The following land use table identifies specific uses and their ability to locate within each of the three districts. The use is either permitted by right, requires a Use Permit subject to Performance Standards, or not allowed. For those uses requiring a Use Permit, the *applicant* shall follow Use Permit procedures as set forth in the City of Glendale Zoning Ordinance.

Table 5: Permitted Land Use

Land Use	Residential District	Mixed-Use Entertainment District	Employment District
Agriculture (this use will be phased out over time)	P	P	P
Alcoholic Beverage Sales	-	P	-
Antique, Crafts and Collectibles Sales	-	P	-
Apparel Sales	-	P	-
Arcade Establishment	-	P	-
Art/Craft Studio	P	P	P
Art Gallery	P	P	P
Assisted Living Center	U	P	P
Auditorium	-	P	P
Automobile Detailing	-	U	U
Automobile Repair	-	U	U
Automatic Teller Machine	P	P	P
Bar/Nightclub	-	P	P
Book, Stationary and Greeting Cards	P	P	P
Candy and Ice Cream Store	P	P	P
Church, Synagogue or Temple	-	U	U
Civic	U	P	P
Clothing Alteration	P	P	P
Commercial Parking Lots or Garages	P	P	P
Congregate Care Facility	U	U	-
Convenience Store	P	P	P
Cultural Institutions	P	P	P

Centrada

Appendices

Dancing, Theatrical or Music Studio	P	P	P
Daycare	U	U	U
Dwelling, <i>single-family</i> , attached	P	P	P
Dwelling, <i>multi-family</i>	P	P	-
Delicatessen and Catering Establishment	P	P	P
Dry Cleaning and Laundry	P	P	P
Emergency Care Facility (24 hour)	-	U	U
Farmers Market	-	P	P
Financial Institutions	-	P	P
Financial Institutions with drive-through	-	U	U
Food and Beverage Vendor Cart	P	P	P
Galleries and Studios	P	P	P
Gas Station	-	-	-
Grocery	-	P	P
Health/Fitness	P	P	P
Home Occupation	Subject to 7.304 of COG Zoning Ordinance		
Hospital	-	U	P
<i>Hotel</i>	-	P	P
Laboratory	-	-	P
Live Entertainment, Indoor	P	P	P
Live Entertainment, Outdoor	*	*	*
Live-Work Units	P	P	P
Liquor Store	-	P	P
Lodges or Fraternal Associations	-	U	U
Loft	P	P	P
Medical / Dental Clinic	-	P	P
Messenger Delivery Service	-	P	P
<i>Multifamily Residential</i>	P	P	P
Nursing Home	-	U	U
Office	P	P	P
<i>Outdoor Sales</i>	-	P	P
Parks & Recreation, Outdoor	-	P	P
Personal Services	P	P	P
Pharmacy	P	P	P
Residential			
Resort <i>Hotel</i>	-	P	P
Restaurant	P	P	P
<i>Retail</i>	P	P	P
<i>Retail Vendor Cart</i>	P	P	P
Schools (Prof., Tech., Higher Ed)	-	P	P
Shoe Sales & Service	P	P	P
Small Animal Grooming	P	P	P
<i>Special Events</i>	*	*	*
Theatres	*	P	P

Timeshare	P	P	P
Veterinary Clinic (completely enclosed)	-	P	P
Video Rental Store	P	P	P
Watch and Clock Repair	P	P	P
Water and Ice Store	P	P	P
Wireless Communication Facilities	-	U	U

PERMIT REQUIREMENTS

P = Permitted by Right

U = Use Permit

* = Subject to Performance Standards

- = Not Allowed

6.2.2 Uses Subject to Performance Standards

The following list identifies the authorized uses within *Centrada* that are subject to performance standards, as defined within Subsection 6.7 below.

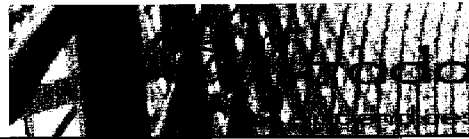
- *Construction Yard*, one year temporary only
- Live Entertainment, Outdoor
- *Special Events*

6.2.3 Accessory Uses and Structures

Uses that are customary and incidental to the principal use of the property permitted within *Centrada* include the following:

- Canopy structures within a public access way are allowed over public areas used for gathering of people, and entrances to individually occupied tenant spaces.
- Gates
- *Outdoor Dining* (not permitted within 200' of the south *Centrada* property line)
- Parking Structures and Parking Lots
- Public Art
- Temporary Office or Construction Trailer
- Satellite Antenna
- Swimming Pool
- Water Features
- Valet Parking Service

#6.3



6.3 DEVELOPMENT STANDARDS

The provision of Development Standards protects the future property owners within *Centrada*, the adjacent property owners and existing uses. They also preserve the public health, safety and welfare. The standards identified herein have been established for yard, height, bulk and area. They also promote an appropriate transition and compatibility among *retail*, restaurant, office, lodging uses and adjacent residential uses. *Centrada* is envisioned as an urban, mixed land use, development Intense District. The Planned Area Development Plan purpose and intent is to strive for the development of a vibrant Glendale and Metro Phoenix destination that promotes *special events*, mixed use activity and diverse dining. To that end, the following form based development provisions are defined as necessary to guide the developed form while enabling unique development standards.

Note: The division of the *Centrada* property may occur over time as warranted by real estate transactions as well as investment/financial lending practices. For the purpose of applicability of the following development standards, *Centrada* is to be considered as one development site regardless of any future subdivision or lot split activity that may occur from time to time. The Planned Area Development Land Use Master Plan anticipates the granting of a private access way for the creation, function and management of private streets within *Centrada* and all connections to public streets (Bethany Home Road, Montebello Avenue, 91st Avenue, and 95th Avenue). The granting of the private access way to the *Centrada Property Owners Association* will define development blocks which may be sold in fee simple or managed as long term ground leases. In either case, the granting of the private access way will create defined space and a dichotomy between private property and the semi-public realm of the private access way.

6.3.1 Building Setbacks

The following *setback* standards shall apply to *Centrada*:

- A minimum building *setback* of twenty (20) feet shall be provided for any building constructed adjacent to 91st Avenue, Montebello Avenue, and Bethany Home Road regardless of any definition of yard in accordance with typical yard definition practices.
- All buildings constructed adjacent to a dedicated private access way shall maintain a minimum distance of fifteen (15) feet from any established *easement* (private access way) or from any defined back of curb line established for vehicular circulation and at-grade parking stalls.
- All other building setbacks from established property lines must comply with 2006 IRC, IBC, IMC, UPC, 2005 NEC and 2003 IFC, or



codes that are current at the time of development, as well as, most recently adopted codes of the City of Glendale, amended and applicable at the time of request for building permit. The establishment of setbacks (separation between buildings) within *Centrada* is discouraged.

- Any future subdivision or lot split will not affect the availability of required parking and other facilities.

6.3.2 Visibility Triangle

In order to maintain visibility at intersections and provide architectural interest for buildings at corner locations, buildings shall provide a ten (10) foot minimum corner cutoff and shall have an entrance to the building from this area. The minimum cutoff area shall be a triangular area that is determined by measuring ten (10) feet back from the corner along any property line created by the intersection of two private access ways and connecting a line between the two points, or per Glendale Standards outlined under G-448.

6.3.3. Build To

All buildings constructed adjacent to a dedicated private access way shall establish a building façade within a maximum distance of thirty (30) feet from any established easement (private access way) or from any defined back of curb line established for vehicular circulation and surface parking stalls for a minimum seventy-five (75) percent of the building façade oriented to public streets.

6.3.4 Lot Coverage

The *Centrada* PAD shall not exceed 70% *lot coverage* for the entire *Centrada* PAD area. This coverage will be monitored throughout the phased development review process for this PAD to ensure that at build out, this standard is not exceeded. Any one phase or defined property (created by fee or ground lease) may exceed this standard as long as the Master Developer can demonstrate to the City of Glendale that the maximum coverage will not be exceeded at build out.

6.3.5 Lot Area

The *Centrada* PAD hereby specifically defines that there shall be no minimum *lot area* for property divided by subdivision *plat* or by lot split within the area defined by the *Centrada* PAD legal description (see Appendix A, Property Legal Description and Boundary Map).

6.3.6 Open Space

The *Centrada* PAD shall maintain the following *open space* standards with the intent of developing active *hardscape* (plazas, sidewalks, paths,



courtyards, roof decks, etc.) and active *softscape* (open turf areas, specimen planting – visual accent/focal areas) areas.

Table 6: Open Space Standards

Land Use	Private Open Space	Active Hardscape	Active Softscape
Residential	A minimum of 60 sq. ft. per unit with an overall avg. of 100 sq. ft. / unit per phased site plan.	20 sq. ft. / unit	50 sq. ft. / unit
Office		20 sq. ft. / 1000 sq. ft. (FA)	0 sq. ft. / 1000 sq. ft. (FA)
Retail/Restaurant		100 sq. ft. / 1000 sq. ft. (FA)	0 sq. ft. / 1000 sq. ft. (FA)
Hotel		20 sq. ft. / Room	0 sq. ft. / 1000 sq. ft. (FA)

(FA) – Gross Floor Area

Note: See definitions of *Hardscape*, *Active* and *Softscape*, *Active*

The Master Developer shall propose the implementation of these *open space* standards on a phase by phase basis as necessary to satisfy the minimum standard (as determined by the City of Glendale Planning Director) at buildout of the *Centrada* Planned Area Development. Each individual phase need not meet the minimum standard as long as the Master Developer can demonstrate to the City of Glendale that the minimum *open space* standards will be met in accordance with the *Open Space* Master Plan at Plan buildout. Residential development private open space requirements shall be reviewed and determined during the City of Glendale Design Review Process.

6.3.7 Building Height

The *Centrada* Land Use Master Plan depicts the conceptual building *massing*, circulation network and *open space* configuration for the *Centrada* Planned Area Development. This conceptual plan may change over time during the implementation life of this PAD in accordance with the Amendment criterion and processes defined within Section 6.11 of the Development Standards Chapter of this Plan.

To accommodate the design flexibility necessary to effectively implement an urban mixed use development plan while providing the development predictability desired by the general public, the

Centrada PAD will be enabled and regulated by *building heights*, (see Exhibit 37, Maximum Building Heights. This exhibit reflects the regulatory intent for *building height* on a block by block basis within the Centrada PAD project site. The following table summarizes the enabled/regulated *building height* by block.

Table 7: Building Height Standards

Block	Maximum Height (Stories)	Max Height (Feet)
One (1)	6	85'
Two (2)	4	59'
Three (3)	3	46'
Four (4)	12	163'
Five (5)	11	150'
Six (6)	25*	332'
Seven (7)	16	215'
Eight (8)	10	137'
Nine (9)	3	46'
Ten (10)	3	46'
Eleven (11)	3	46'
Twelve (12)	12	163'
Thirteen (13)	6	85'
Fourteen (14)	7	98'
Fifteen (15)	3	46'
Sixteen (16)	3	46'

* The Master Developer/Applicant will be required to notify the FAA and obtain a clearance letter in connection with *applications* for individual *building permits*.

Note: See the definition for *Building Height* within Subsection 5 of these Development Standards for the intended applicability of the height provisions.

Building Height Exceptions:

1. Height limitation shall not apply to spires, belfries, cupolas, domes not for human occupancy, penthouses, equipment houses, chimneys, ventilation equipment, skylights, communications towers, and similar features and necessary equipment appurtenances usually carried out above the roof line.
2. Height limitation shall not restrict the placement of parapet walls, cornices or decorative façade treatments above the *building height* limit. Such features may extend up to twenty (20) feet above the defined *building height* limit for each block.



6.3.8 Walls

The developer of *Centrada* shall construct a buffer wall along the south property line abutting the existing residential district. The buffer wall shall provide a gate to allow the existing the buffer wall will be designed and developed in the following manner:

- The wall will be designed to allow Pendergast Estates neighborhood residents access to the *Centrada* park, open space and retail services on the *Centrada* property;
 - The wall shall be designed and constructed eight (8) feet in height along the abutting south property line for the length of the *Centrada* property;
 - The wall shall include an open tubular steel or wrought iron portion adjacent to lots which bound the planned *Centrada* park if the adjacent property owner expresses, in writing to the developer of *Centrada* agreement, a desire to have an open fence condition to the park rather than a solid buffer. The developer of *Centrada* shall solicit a definitive opinion from each adjacent owner prior to the construction of the wall segment adjacent to the planned park;
 - The wall must be at least eight (8) inches thick and constructed of decorative block or other finish approved by the planning director, consistent with the project and the adjoining residential area.
 - This wall will be constructed in three phases with segments corresponding to the phased construction of Montebello between 95th and 91st Avenue and each being approximately 900 feet in length.
1. Any loading docks within one hundred (100) feet of a residential district must have a separate eight (8) foot high wall of similar materials to screen the dock area.
 2. Any wall or fence exceeding six (6) feet in height requires approval of fence construction plans to ensure structural stability.

6.3.9 Landscape Buffers

The following standard is established to promote the installation and maintenance of a landscape buffer between *Centrada* and the Pendergast Estates neighborhood. The development of *Centrada* shall improve the southern perimeter of the property adjacent to the south property line in accordance with the following:

- A minimum 20 foot wide landscape area shall be provided adjacent to the south property line except the minimum may be administratively lessened by the planning director as needed to accommodate the intersection design at Montebello Avenue and 91st Avenue and the intersection at Montebello and 95th Avenue.



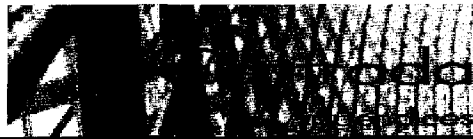
6.3.10 Irrigation

The following standard is established to provide adjustments to the existing irrigation system which provides flood irrigation service to the Pendergast Estates neighborhood. This standard is intended to promote cooperation between the developer of Centrada and all property owners within the Pendergast Estates neighborhood which border the Centrada property. The following shall apply:

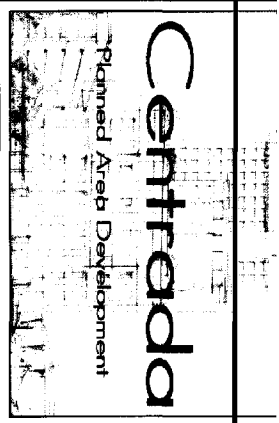
- The existing irrigation ditch is currently located within the rear yards of the Pendergast Estates neighborhood parcels within a dedicated easement.
- The developer of Centrada shall design and construct, subject to obtaining necessary temporary construction easements (or equivalent property access authorization from all adjacent property owners), approvals and permits place the existing irrigation ditch within the Pendergast Estates rear yards in a pipe (tilling) within the same location.
- Prior to tilling the irrigation ditch, the engineering design for the tilling project will be distributed to each of the owners of the property adjacent to Centrada for review and comment.
- Water volume flows and the number of access ports currently existing in the irrigation ditch will be maintained by the installation of all primary and supplementary pipes necessary to insure that water flows are maintained to all portions of the adjacent property owners lots.
- Irrigation improvements will be completed before the construction of the buffer wall defined in section 6.3.8 above.
- Once constructed, maintenance access to the irrigation system will be provided from the individual properties which enjoy the benefits of the system. The construction of the buffer wall will sever the existing access for facilities maintenance.

The developer of Centrada shall construct a wall along the south south property line abutting the existing residential district. The wall shall provide a gate to allow the existing Pendergast Estates neighborhood access to the Centrada park, open space and retail services property. The wall shall be eight (8) feet in height along the abutting south property line. The wall must be at least eight (8) inches thick and constructed of decorative block or other finish approved by the Planning Director, consistent with the project and the adjoining residential area. This wall will be constructed in phases with segments corresponding to the phased construction of Montebello between 95th and 91st Avenue.

3. Any loading docks within one hundred (100) feet of a residential district must have a separate eight (8) foot high wall of similar materials to screen the dock area.

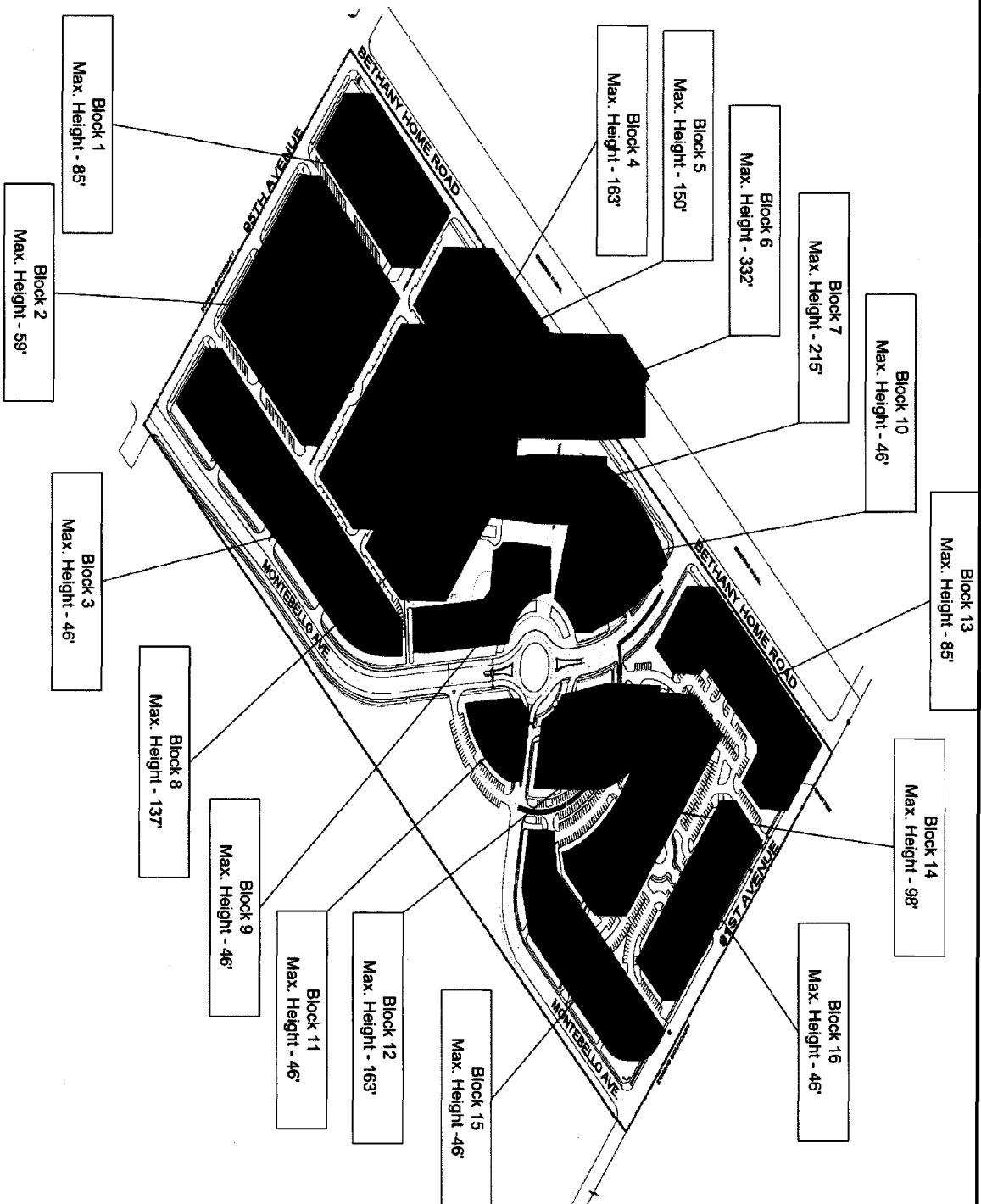


-
4. Any wall or fence exceeding six (6) feet in height requires approval of fence construction plans to ensure structural stability.



Maximum Building Heights

Exhibit 37



SCALE: NOT TO SCALE

PRELIMINARY: NOT FOR CONSTRUCTION
 CRYPTER/TVA URBAN DESIGN STUDIO, LLC
 9/30/08
 Project No. 0728

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 land planning • landscape architecture
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6.4 LANDSCAPE FORM AND STANDARDS

The Landscape Form and Standards section defines the area and improvements to be designed and constructed in *Centrada*. All areas that are not designated for a building, driveway, storage, parking, loading/unloading or vehicle/truck maneuvering shall be considered an on or off-site landscape area. All on-site and arterial landscaping shall be treated with the appropriate *softscape* and *hardscape* landscape treatment as described below.

The on-site or off-site landscape area shall not be used for parking, except for required on-site retention areas or when such use is shown on the approved final landscape plan. Exclusions to this requirement would include festivals or outdoor events that require temporary event tents, vendor booths or staging areas. These uses would be at the discretion of the Master Developer.

6.4.1 On-Site Landscape Areas

All developed portions of *Centrada* shall provide on-site landscaping within the following standards:

- Landscape areas shall be calculated as a percentage of the developed areas of the site. Landscape areas shall comprise a minimum ten (10) percent of the net site area within the total site boundary.
- A landscaped area shall not measure less than a minimum width of fifteen (15) feet for the entire width of a particular street. Frontage shall be established and maintained along all public and/or private street frontages. These include areas between any building, on-site parking area or outdoor storage area and the nearest point of the existing or future required public and/or private street/sidewalk improvements (as measured from either: a) the back of an existing sidewalk, b) the line equal to the back of a future required sidewalk, or c) the back of the street curb where a sidewalk is not required). However, for reverse street frontage, the landscape widths shall be in accordance with the City-approved *Centrada* street cross-section designs. The area of this landscape strip may be used to satisfy, to the extent provided, the on-site landscaped area and street right-of-way landscaping area requirements set forth in this section.
- All portions of a development site in *Centrada* not occupied by buildings, driveways, storage, vehicle/truck maneuvering, loading/unloading, shall be landscaped. Future building pads/parcels in *Centrada* shall be maintained weed-free in such a manner as may be approved by the Master Developer.



6.4.2 Arterial Street Right-of-Way Landscaping

The landscaping of all street *rights-of-way* within 91st Avenue and Bethany Home Road (not identified for street pavement, curbs, gutters, sidewalks, or driveways) shall be required to be landscaped in addition to the on-site landscaped areas identified in Section I.

1. Parking Island Landscaping

If, and where utilized, private at-grade parking areas shall contain at least one (1) landscaped island (protected by raised curbing), at a placement frequency of one (1) island per ten (10) parking spaces. Each island shall measure not less than two hundred (200) square feet in area and exhibit a minimum width of six (6) feet measured from back of curb to back of curb. Each landscape island shall contain one (1) tree. All shrubs and groundcover located within each landscaped island shall be maintained to a maximum height of three (3) feet. Each tree within each landscape island shall maintain a minimum clearance of six (6) feet from its lowest branch to the island *finished grade* elevation. The total area within each landscaped island will be used to satisfy, to the extent provided, the on-site landscape area requirements set forth in Section A.

2. Landscape Improvement Standards

- a. Public Street Frontage Landscaping

- The installation of street trees, shrubs, and vegetative groundcover shall be required for all applicable in an amount equal to, or greater than one (1) tree and three (3) shrubs for each twenty (20) lineal feet of arterial street frontage, with vegetative shrubs and/or groundcover occupying a minimum of sixty (60) percent of the total arterial street frontage landscaped area within three years of planting. This minimum quantity of trees, shrubs, and vegetative groundcover shall be located in the arterial street right-of-way landscaped area and shall be designed and located to enhance the proposed development project and the streetscape.
- All street frontage landscaping located adjacent to driveway exits and street intersections shall be designed, installed, and maintained in accordance with the height, location, and sight visibility requirements as set forth by the City of Glendale.



b. Private Street Frontage Landscaping

- The installation of street trees, shrubs, and vegetative groundcover shall be required for all applicable phases in an amount equal to, or greater than one (1) tree and three (3) shrubs for each fifty (50) lineal feet of private street frontage, with vegetative shrubs and/or groundcover occupying a minimum of forty (40) percent of the total street frontage landscaped area within three years of planting. This minimum quantity of trees, shrubs, and vegetative groundcover shall be located in the right-of-way and shall be designed and located to enhance the proposed development project and the streetscape.
- All frontage landscaping located adjacent to driveway exits and street intersections shall be designed, installed, and maintained in accordance with the height, location, and sight visibility requirements of the City of Glendale Code.

c. Water Intensive Landscaping

The amount of water-intensive (plant materials not listed on the City's approved list landscaped area shall be limited to no more than twenty-five percent (25%) of the total required landscaped area. This standard is waived if the proposed development applies one hundred percent (100%) of its landscape water demand from on-site generated effluent and/or reclaimed graywater sources. If a combination of sources is used, only those areas irrigated by potable water sources shall be calculated toward the 20% limitation.

d. Cumulative Vegetation Coverage totals

The overall quantities of plants required by each of the items in Sections I & II herein shall be added together to calculate the minimum total quantity of plant materials required for Centrada.

3. Design Standards and Requirements

a. Minimum Sizes for Trees, Shrubs and Groundcover:

Unless otherwise specified, all required trees shall be a minimum of twenty four (24") inch box in size, with a minimum of twenty-five (25) percent of the total number required thirty-six (36) inch box or larger in size. All twenty four inch box trees must be a minimum of eight (8) feet in height, four (4) feet in spread and measure a minimum of one and one-quarter inches in trunk caliper at the ground level. All thirty-six inch box and larger trees shall be a minimum of ten (10) feet in height.



six (6) feet in spread and measure a minimum of two and one-half inches in trunk caliper (measured per standard ANA methods for multi and single trunk trees). All shrubs shall be a minimum of five (5) gallon in size. All groundcover shall be a minimum of one (1) gallon in size.

b. Minimum Sizes for Trees in Parking Islands:

All trees planted within parking islands shall be a minimum of thirty six (36) inch box in size. All thirty six (36) inch box trees must be a minimum of fourteen (14) feet in height, eight (8') feet in spread and measure three and one half (3 ½") inches in trunk caliper (measured per standard Arizona Nurseryman's Association (ANA) methods for multi and single trunk trees).

c. Natural Topping In Landscape Areas:

All landscape areas planted in trees, shrubs and groundcover shall receive an appropriate topping material to provide dust control, water conservation and appearance enhancement. These topping materials shall include, but not be limited to, decomposed granite (min. ½" minus size - 2" min depth), fractured granite rip rap, river run rock or turf. A pre-emergent herbicide shall be applied to the ground prior to the placement of natural surface materials (decomposed granite, river run rock, etc.) in any landscaped area to prevent weed growth. The decomposed granite color (or other natural surface top dressings described herein) shall be selected by the Master Developer at the time of improvement plan preparation for the first phase of Centrada. All subsequent phases shall match the initial selected color for design continuity.

d. Arterial Street Frontage Landscaped Areas:

Landscaped areas along the three perimeter arterial street frontages shall be contoured or bermed to provide variations in grade, visual relief, parking lot screening, and a pleasing curb appeal. All at-grade surface parking areas shall be screened from the arterial street view by a landscaped berm (4:1 max slope) or decorative screen wall not less than three (3) feet in height, or a combination thereof. The required height of the berm or wall shall be measured from the highest finished grade of the adjacent on-site parking area. Retention basin contouring (4:1 max slope), in conjunction with retaining walls, may also satisfy this requirement. Retaining walls in these areas shall not exceed a total height of thirty (30) inches. Site screen walls adjacent to retaining walls shall be set back a minimum of four (4) feet to allow for the placement of vegetation between the walls.



e. Irrigation Standards:

All landscaped areas shall be served by an automatic irrigation system which may be a drip, spray or bubbler type system depending on the vegetation to be served. A pressure-type vacuum breaker shall be required with the installation of all irrigation systems. All irrigation systems and landscaped areas shall be designed, constructed, and maintained to promote water conservation and prevent water overflow, sheet flow or seepage into the street, sidewalk, or parking areas. The system shall be zoned for specific water use requirements, with all tree, shrub and turf zones being controlled separately. It will also be monitored and adjusted seasonally for optimum performance.

f. Protect Sight Visibility on Public Rights-of-Way:

All landscape and *hardscape* materials installed within the public right-of-way, or on private property in proximity to a driveway or street intersection, shall be installed and maintained in compliance with the sight visibility requirements set forth by the City of Glendale.

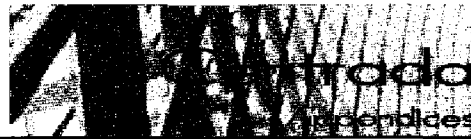
g. Protect Landscaped Areas from Vehicle Damage:

Permanent containment barriers (concrete curbs or bumper guards) shall be installed and properly secured within or adjacent to all proposed at-grade parking areas and along all driveways and vehicular access ways to protect landscape materials.

h. Screen Walls:

All outdoor storage areas for materials, refuse containers, mechanical equipment, or vehicles, and all loading/unloading areas or service bays shall be shielded from street view by a screen wall. The wall shall be constructed to a minimum height of six (6) feet and designed in accordance with the City of Glendale. All *screen walls* shall be designed and constructed with brick, slump block, or masonry with a stucco finish of a suitable color. Pilasters, three-wall enclosures, varying wall heights, strategic plant material location, and varying the elevation of the ground plain will improve the visual impact of the wall.

#6.5



6.5 VEHICLE ACCESS, PARKING & LOADING STANDARDS

Parking shall comply with the following criteria:

6.5.1 Access

Buildings erected in Centrada will have direct or indirect access to a dedicated public street or a private access way which is owned and maintained by the *Centrada Property Owners Association*. However, provisions for access to all buildings by emergency and service vehicles in lieu of public street access shall be made possible by the layout and design of driveways, interior service roads, or pedestrian and bicycle circulation corridors not normally open to vehicular traffic to the reasonable satisfaction of the City of Glendale Fire Department, and the Glendale Street Transportation Department.

6.5.2 Spaces

Parking Stalls - Each space shall be an unobstructed rectangle or parallelogram in accordance with the following dimensional standards:

Perpendicular Parking: not less than 10 feet wide by not less than 18½ feet long.

Angled Parking: not less than 10 feet wide by not less than 20 feet long.

Parallel Parking: not less than 9 feet wide by not less than 22 feet long, with end stalls not less than 23 feet long.

Parking Aisles - Parking stalls shall be served by the following aisle widths:

Perpendicular Parking: One way aisle - 24 feet; Two way aisle - 26 feet.

Angular Parking: One way aisle - 18 feet; Two way aisle - 22 feet

Vehicle Overhang - Where a required off-street parking space is designed to abut a landscaped area that is at least five feet wide or a sidewalk or pedestrian pathway that is a minimum of 6 feet wide, the length of any such parking spaces, except for parallel spaces, may be reduced by 2 ½ feet for spaces that are perpendicular or angular to such landscaped area or sidewalk.

Marking - All parking spaces and directional arrows and instructions shall be clearly designated in a manner satisfactory to the City Engineer.

Screening - Surface parking shall be screened from view from the public street with an attractive screened wall, or line of planters between thirty-six (36) and forty-eight (48) inches in height; including accent landscaping.



The Planning Director may administratively modify the parking dimensions identified above upon finding the predominant vehicle size is evolving towards small, more compact vehicles.

6.5.3 Calculation

The total number of off-street parking spaces shall be calculated as follows:

No off-street parking spaces are required for floor area comprised by garages, parking structures or other buildings devoted exclusively to provisions of required parking spaces.

No off-street parking spaces are required for floor area exclusively used and maintained for elevators, stairways, restrooms, electrical or mechanical equipment rooms, and employee only kitchens, lunchrooms, exercise, or locker rooms.

With respect to any restaurant use, *gross floor area* does not include *outdoor dining* areas.

Tandem and stacked parking may count toward the total number of off-street parking spaces.

6.5.4 Provisions of Required Spaces

The total number of off-street parking spaces shall be provided as follows:

The sum of all individual uses, calculated floor area multiplied by the standards provided within Table 8 below. However, the collective total number of off-street parking spaces required may be reduced if the spaces can be shared among the various uses in accordance with the following provision.

A parking reduction may be proposed by the Master Developer and approved by the Glendale Planning Director, once the Master Developer may demonstrate a mix of land uses which are commonly considered in shared parking studies consistent with studies and publications prepared by the Urban Land Institute. Additional Shared Parking provisions are provided in Section 9 below. At the discretion of the Planning Director, with input from the Transportation Department during the Design Review process, a base parking reduction of 10% may be granted to the Master Developer of *Centrada* once the project meets the definition of a mixed use project.

Up to 100% of the required off-street parking spaces may be provided off-site, but within 1,250 ft. of the use.

6.5.5 Minimum Number of Parking Spaces Required

Table 8: Parking Ratios

Land Use	Number of Required Parking Spaces
Residential Dwelling	Studio & One Bedroom - 1.0 spaces exclusive Studio & One Bedroom - .25 spaces non-exclusive Two & Three Bedroom - 1.5 spaces exclusive Two & Three Bedroom - .5 spaces non-exclusive Four & More Bedroom - 2.0 spaces exclusive Four & More Bedroom - .5 spaces non-exclusive
Senior Housing	Studio - Three Bedroom - 1.0 spaces exclusive Studio - Three Bedroom - .25 spaces non-exclusive
Live/Work Units	3 spaces for the first 2,000 square feet of floor area, and 2 spaces per 1,000 square feet of for any additional floor area over 2,000 square feet
Hotels	1 space per room, 1 space per 400 square feet for non-room areas, 1 space per 200 square feet for hotel restaurant and meeting space
Places of Worship	1.5 space per 100 lineal inches of pew space
Restaurant	1 space per 100 square feet for indoor dining, 1 per 300 square feet for <i>outdoor dining</i>
Retail and Service Activities	1 space per 300 square feet of floor area
Office	1 space per 300 square feet of floor area
Theaters	1 space per four seats

6.5.6 Off-Street Loading

Table 9: Off-Street Loading Ratios

All loading areas shall comply with the following provisions:

Loading Areas	Number of Required Loading Spaces
Retail Stores and Restaurants uses:	
Floor Area (Square Feet)	
0-12,500	0
12,500 - 60,000	1
60,001 - 100,000	2
Over 100,000	3 plus 1 for each additional 80,000 sq. ft.
Office and hotel uses:	
Floor Area (Square Feet)	
0-50,000	0
50,000 - 200,000	1
201,000 - 500,000	2
Over 500,000	3 plus 1 for each additional 400,000 sq. ft.



Dimensions. Each loading space shall have a minimum dimension of fifteen (15) feet by twenty-five (25) feet and a height of not less than fourteen (14) feet.

Turning Area. In no event shall the outer radius of any turning area to a required loading space be less than twenty five (25) feet.

Table 10: Bicycle Parking Ratios

Land Use	Number of Required Rack Stalls
Residential Dwelling	Studio & One Bedroom - .05
	Studio & One Bedroom - .05
	Two & Three Bedroom - .1
	Two & Three Bedroom - .1
	Four & More Bedroom - .1
Senior Housing	Studio - Three Bedroom - 0
	Studio - Three Bedroom - 0
Live/Work Units	One & More Bedrooms - 1
Hotels	1 space per room, 1 space per 200 square feet for restaurant and meeting space
Places of Worship	1.5 rack stall per 1000 lineal inches of pew space
Restaurant	1 rack stall per 2000 square feet for indoor dining, 1 rack stall per 1000 square feet for outdoor dining
Retail and Service Activities	1 rack stall per 300 square feet of floor area
Office	1 rack stall per 500 square feet of floor area
Medical/Dental	1 rack stall per 500 square feet of floor area
Childcare Center	.25 space for each on duty employee
Theaters	1 rack stall per fifty seats

6.5.7 Parking Structure Standards

The vision for Centrada as a compact, urban intensity project warrants the careful management of parking. To this end, parking structures, both above and below grade, will be an integral part of the built form of this PAD. As a significant component of the PAD, this section addressed design and development standards for parking structures which assist in the property function and management of parking structures as a part of the land use program.

Parking Structures will be designed to include:

Vehicle stacking areas for entering and existing traffic may demonstrate up to a 100 foot long queuing lane which is distinct and independent of any direct access drives from 91st Avenue, Bethany Home Road, 95th



Avenue, 93rd Avenue and Montebello when an access restriction gate is proposed at the ground level of a parking structure. Note: In many cases, ground floor parking will be provided for *retail* uses without charge and access controls.

A minimum of 5 foot-candles shall be provided inside all parking structures and a minimum of 3 foot-candles for exterior parking areas.

Higher levels are recommended for remote areas subject to security problems (e.g., stairways, elevators, and other pedestrian access points).

Lighting levels shall be equally distributed to provide uniform illumination over all parking areas.

Light sources shall be shielded so that the source of the illumination is not seen from outside the structure.

The architectural design of the structure should eliminate possible hiding places and openings that could allow random pedestrian access.

During periods when parking activity is substantially less than the structure capacity, as during night operations, there shall be a means of securing unused parking levels from use, including stairwell and elevators. If the structure is not operated on a 24-hour basis the entire facility shall be secured from access during hours when the facility is closed.

For security reasons, at least one or two sides of the stair tower may include glass running vertically up to the height of the tower.

Stairs and elevators are preferred to be located adjacent to a street on the exterior of the structure where lobbies can be exposed to outside view.

6.5.8 Reduction of Parking Requirements

Within Centrada, it is envisioned that parking space demand may be lessened by the development of an "urban" development form. This reduced demand is expected to be responsive to the appropriate mix of uses, a pedestrian friendly environment and the potential for access to public transportation facilities. A reduction in number of developed parking spaces may be proposed, to the Planning Director by the Master Developer during the City of Glendale Design Review Process, for an administrative review and approval in accordance with the following standards.



Table 11: Parking Reduction

Qualifying Project Feature	Description and Criteria for Granting Reduction
Mixed-Use, combining different land uses on the same parcel	<p>Base Reduction: Mix of Uses 10%</p> <p>A 10% parking reduction may be granted where the Planning Director determines that a reduction is justified based on mixed use characteristics of the uses, an hourly parking demand study published by the Urban Land Institute, and/or other appropriate source as determined by <i>City Staff</i>.</p>
Uses adjacent to transit	<p>Public Transportation Reduction: Transit Access 12.5%</p> <p>A 5% parking reduction may be granted if the Master Developer sufficiently demonstrates access to a Metro Light Rail station within 1 mile of the <i>Centrada</i> property.</p> <p>A 2.5% parking reduction may be granted if the Master Developer sufficiently demonstrates access to a Metro Bus Services within .25 miles of the <i>Centrada</i> property.</p> <p>A 5% parking reduction may be granted if the Master Developer sufficiently demonstrates access to a Glendale Sport & Entertainment District local people mover system within .5 mile of the <i>Centrada</i> property.</p>
All Others	<p>Shared Parking Model Reduction: Additional Considerations 10%</p> <p>A parking reduction may be granted for any other circumstance where the <i>applicant</i> wishes to request a parking reduction through the preparation of a Shared Parking Model. The <i>applicant</i> must prepare and submit a parking demand study to justify the reduction. The Shared Parking Model reduction is subject to review and approval of a conditional use permit in accordance with Section 3.900 of the City of Glendale Zoning Ordinance.</p>

6.5.9 Shared Use of Parking Facilities

Separate uses with overlapping hours of operation, on separate parcels within *Centrada* may share parking facilities.

Shared parking facilities shall comply with the following requirements:

A Shared Parking Plan shall be established by the Master Developer and administered by the *Centrada Property Owners Association* Board of Directors.

A Parking Management Organization (an entity appointed by the *Centrada Property Owners Association* Board of Directors) shall be formed to implement a Shared Parking Plan and to resolve any operational challenges which may occur with the implementation of the Plan.



The maximum distance from the shared parking facility to a designated land use shall not exceed 1250 feet. However, distances greater than 1250 feet may be considered if the reviewing authority makes the findings that transportation alternatives are provided to accommodate the resident, patron or employee.

No more than fifty (50) percent of the parking spaces required for a building or use may be supplied by parking facilities for any other building or use.

Each residential unit within Centrada must have one corresponding "exclusive" parking space designated for that unit. These spaces are not to be made available to shared parking use.

The developer will demonstrate how the shared parking model will be executed during the City of Glendale Design Review Process. The Planning Director shall have the ability to review and approve the shared parking plan administratively.

#6.6



6.6 SIGNS

Sign Standards

A. Purpose and scope

The purpose of these sign provisions is to promote fair, comprehensive, and enforceable regulations that will foster a positive visual environment for Centrada. This section is intended to regulate on-premise signs which are visible from public streets or which are visible from off the property and supersedes all provisions defined by Sections 7.100 through Section 7.109 of the City of Glendale Zoning Ordinance. A separate Sign Master Plan application shall be made for each phase of development.

These regulations balance the need to protect the public safety and welfare, the need for a well-maintained and attractive mixed-use development, as well as the need for adequate identification, communication and advertising. The regulations allow for a variety of sign types and sizes for the site and are intended to balance the function and aesthetics of signs. The regulations for signs have the following specific objectives:

1. To promote an urban mixed-use and entertainment district which is developed and is maintained in a way that ensures design uniformity and economic vitality;
2. To promote the design characteristics of a dense / intense urban form as expressed by the design theme characteristics of form, material and color within a European town center;
3. To balance public and private objectives by allowing adequate signage for business identification;
4. To promote the free flow of traffic and protect pedestrians and motorists from injury and property damage which may be caused by cluttered, distracting, and illegible signage;
5. To prevent property damage and personal injury resulting from signs which are improperly constructed or poorly maintained;
6. To promote the use of signs which are well designed, of appropriate scale, and integrated with surrounding buildings and landscape in order to meet the community's desire for quality development;
7. To protect property values, the local economy, and the quality of life by preserving and enhancing the appearance of the streetscape.



B. General Provisions

The regulations, requirements, and provisions set forth in this Section shall apply to all signs erected, placed, or constructed within Centrada.

1. All signs shall comply with the unobstructed view easement requirements of the City of Glendale, Design Guidelines for Site Development and Infrastructure Construction.
2. All signs shall be structurally designed, constructed, erected, and maintained in accordance with all applicable provisions and requirements of the City of Glendale Building Codes.
3. Signs shall not be located in a manner which interferes with pedestrian travel or poses a hazard to pedestrians.
4. All signs and sign structures shall be maintained in good order, repair, and appearance at all times so as not to constitute a danger or hazard to the public safety or create a visual blight.
5. Signs may be illuminated or non-illuminated, unless otherwise restricted in this PAD. The source of the sign's illumination shall not be visible from any street, sidewalk, or adjacent property. This shall not preclude the use of neon sign elements.
6. Sign area shall be measured as follows:
 - a. Sign copy mounted or painted on a background panel or area distinctively painted, textured, or constructed as a background for the sign copy shall be measured as that area contained within the sum of the smallest rectangles that will enclose both the sign copy and the background.
 - b. Sign copy mounted as individual letters or graphics against a wall, fascia, mansard, or parapet of a building or other structure that has not been painted, textured, or otherwise altered to provide a distinctive background for the sign copy shall be measured as a sum of the smallest rectangles that will enclose each word and each graphic in the total sign.
 - c. Multi-face signs shall be measured as follows:
 1. Two (2) face signs: If the interior angle between the two (2) sign faces is sixty (60) degrees or less, the area shall be of one (1) face only. If the angle between the two (2) sign faces is greater than sixty (60) degrees, the sign area will be the sum of the areas of the two (2) faces.



2. Three (3) or more face signs: The sign area will be fifty (50) percent of the sum of the areas of all faces.
 - d. Spherical, free-form, sculptural, or other non-planar sign area shall be fifty (50) percent of the sum of the sides of the smallest four (4) sided polyhedron that will encompass the sign structure.
7. Sign heights shall be measured as follows:
- a. Freestanding sign: Height shall be the vertical distance from the top of the highest element of the sign or sign structure to the top of the curb or crown of the roadway where no curb exists. The height of any monument base or other structure erected to support or ornament the sign shall be measured as part of the sign height.
 - b. Wall fascia, mansard, and parapet mounted signs: Height shall be the vertical distance to the top of the sign or sign structure from the base of the wall on which the sign is located.
8. The provisions of Subsection B shall not apply to the following signs:
- a. Traffic signs and all other signs erected or maintained by a governmental body including, but not limited to, danger signs, and signs of a noncommercial nature required by public laws, ordinances or statutes.
 - b. Warning signs not over six square feet in area.

C. Prohibited signs

The following signs are expressly prohibited at Centrada:

1. Signs located within, on, or projecting over any public street, right-of-way, or other public property, except shingle signs and projecting signs as provided in Sections 7.104 C and D.
2. Any sign which interferes with or confuses traffic, or presents a traffic hazard.
3. Billboards.

D. Permitted Permanent Signs

This section includes specific standards for ground signs, wall signs, directional signs, construction / real estate signs, and temporary signs. All signs approved following the effective date of this PAD Ordinance shall be



subject to the following requirements, and follow standards as presented in Table 11, Sign Matrix.

1. Permanent Sign Standards

a. Electronic Message Display (EMD)

This sign type is capable of displaying words, symbols, figures, or images that can be electronically or mechanically changed by remote or automatic means, including video. All electric signs shall conform to the Electrical Code of the City of Glendale.

The following requirements are applicable for all EMD's oriented for view from a public street or freeway. Such displays may include static displays, messages that appear to disappear from the display through dissolve, fade, travel or scroll modes, video or similar transitions and frame effects that have text, graphics or images that appear to move or change in size, or be revealed sequentially rather than all at once. The use of EMC and EMD displays shall be determined by the Planning Director at the time of Master Sign Package review.

b. Construction Code Requirements

All signs shall conform to the requirements of the Glendale Construction Code.

c. Combination Signs

The thickness measured between the principal faces of any combination sign shall not exceed sixty inches when such a sign is of solid construction.

d. Illumination

The following standards are intended to guide the sign permit process affiliated with the review and approval of sign illumination:

1. The source of indirect illumination for signs shall be so oriented or shielded that it is not visible from any residential use or public thoroughfare.
2. Direct illumination by incandescent sources shall not exceed eleven watts per bulb without a dimming device or sunscreen; provided, however, no single bulb shall exceed forty watts.
3. Signs may be illuminated 24 hours a day, 7 days a week as long as the total light source on any sign face does not exceed one hundred fifty watts.
4. No flashing, blinking or rotating lights, metal halide lights exceeding seventy-five watts, or high or low pressure sodium light



bulbs shall be permitted for either permanent or temporary signs. In no case shall mercury vapor light sources be used for direct or internal illumination.

5. All sign illumination shall satisfy the provisions of the Glendale Dark Sky Ordinance.
6. Exposed neon and other similar tube type illumination, bare incandescent or fluorescent lights shall be permitted as an integral part of a sign.

E. Permitted Temporary Signs

The following temporary signs are permitted in Centrada subject to the definitions in Section 2.300, of the City of Glendale Zoning Ordinance and the following regulations:

1. Sale, Lease, or Rent Signs

The following standards apply to temporary sale, lease or rent signs:

- a. Two (2) non-illuminated sign pertaining only to the property on which it is located shall be permitted for each street frontage.
- b. A maximum of two (2) signs shall be permitted per parcel.
- c. Each sign shall erected on a vacant parcel shall have a maximum area of three hundred twenty (320) square feet and a maximum height of ten (10) feet.
- d. Each building sign shall have a maximum area of twelve (12) square feet and a maximum height of six (6) feet.
- e. A maximum of fifteen (15) flags are allowed.
- f. The area of each flag shall not exceed six (6) square feet.
- g. The maximum height of any flag shall be twenty-five (25) feet.
- h. There shall be a minimum distance of twenty (20) feet between flags.
- i. Lettering and logos are allowed on the flags.

2. Promotional Displays

The following standards apply to promotional display signs:

- a. These displays may be used to advertise grand openings, a change of business ownership, special sales, new products or services, and other promotions.
- b. This includes pennants, banners, balloons, streamers, flags, inflatable structures, search lights, character or product likenesses, attention attracting media and devices, and other non-merchandise displays.
- c. Such displays shall be allowed for a maximum of ten (10) consecutive days, no more than three (3) times per year. One (1) grand opening promotional display is allowed per year for a period not to exceed



thirty (30) days. The grand opening display requires a new business or change in business name.

- d. There shall be a minimum of thirty (30) days between each display.

3. Special Events, Seasonal Sales

The following standards apply to special event and seasonal sales signs:

- a. Three (3) non-illuminated sign is allowed for the duration of the event.
- b. Such signs shall have a maximum area of thirty-two (32) square feet and a maximum height of eight (8) feet.

4. Non-Commercial Signs

The following standards apply to non-commercial signs:

a. General

These signs may be placed for a period not to exceed one hundred eighty (180) days. After the one hundred eighty (180) day period, the sign must be removed and may not be replaced within or on the same parcel or lot for a period of ninety (90) days. Such signs shall have a maximum area of thirty-two (32) square feet and a maximum height of eight (8) feet.

b. Political Signs

1. One (1) sign for each candidate or measure shall be permitted for each street frontage with no more than two (2) signs on any lot or parcel of land.
2. Within *Centrada* the maximum sign area shall be thirty-two (32) square feet, and the maximum height shall be eight (8) feet.
3. The person, party, or organization responsible for the erection or distribution of such signs shall remove them within ten (10) days after the specific election to which they refer.
4. Such signs shall be placed only with the property owner's permission.

5. Construction and Development Signs

The following standards apply to construction and development signs:

- a. Three (3) non-illuminated sign is allowed on the construction site with a maximum area of thirty-two (32) square feet and a maximum height of eight (8) feet.



- b. If building permits have not been issued within six (6) months after issuance of the sign permit, the sign shall be removed and any new construction and development sign for substantially the same project at the same location will be approved only after a building permit for the project has been issued by the City.
- c. Such sign shall be removed prior to the issuance of a Certificate of Occupancy for the site.
- d. The sign may identify the name of the project, the names of the developer, contractor, architect, subcontractor, and financier for the project, and the projected completion date.

6. Open House Directional Signs

The following standards apply to open house directional signs:

- a. There shall be a maximum of four (4) such signs for each home for sale, including any such sign at the property for sale.
- b. Each sign shall have a maximum area of three (3) square feet and a maximum height of three (3) feet.
- c. Such signs may be posted only when a salesperson is on duty at the home and shall not be allowed for more than nine (9) hours per day.
- d. Such signs shall not be placed in the public rights-of-way.

7. Window Signs

The following standards apply to window signs:

- a. These signs may be used for business identification and advertising of any service, product, person, business, place, or activity on the premises.
- b. Such signs may include, but are not limited to, the business name, street address, phone number, business hours, meeting times, individual or specific products, services, or merchandise and related price information, slogans, and sale announcements.
- c. There are no limitations on sign area or window coverage.

8. Menu Signs

The following standards apply to menu signs:

- a. A menu sign may be used to display the published menu and corresponding prices of a restaurant. The sign may indicate hours of operation and information regarding entertainment the restaurant provides.
- b. Only one (1) menu sign per restaurant is allowed.
- c. The area of a menu sign cannot exceed four (4) square feet.



- d. The sign shall be enclosed in a casing attached to the building and extending from the wall not more than five (5) inches.

9. Promotional Banners

The following standards apply to promotional banners:

- a. Banners may be used to identify special events within Centrada. They shall not be used to identify or advertise individual businesses, sales, products, or services.
- b. The special event shall be represented on the banner by decorative graphics.
- c. There shall be one banner permitted for each business. The banner shall be mounted on the building or within a display window.
- d. The banner may be displayed from a pole or other means located perpendicular to the building. The minimum clearance between the bottom of the pole and the nearest grade or sidewalk shall be seven (7) feet, six (6) inches.
- e. The banners shall be made of cloth, nylon, or similar material.
- f. The banner shall not exceed thirty two (32) square feet in size.
- g. The banners shall be allowed for a maximum of forty-five (45) consecutive days.

F. Sign permits

This section sets forth requirements for sign permits, types of signs that do not require permits, and signs that are not permitted, at Centrada.

a. Sign Permit General Requirements

Requirement for Permit

Unless otherwise provided in this Section, all signs shall require a sign permit from the Development Services Center before being erected, displayed, relocated or altered. Written approval from the Development Services Center personnel is required before any change, modification, alteration or other deviation from the terms and conditions of the sign permit and before any such change in the use of the sign as originally permitted can be made. The Development Services Center shall maintain a record of all such requests and approvals.

- 1. Building and sign permits shall be obtained prior to erecting, placing, constructing, altering, or changing the copy on any sign within the city except:
 - a. Temporary Signs including:
 - 1. Open house direction signs;
 - 2. Non-commercial signs;



3. Sale, lease, or rent signs;
 4. Window signs;
 5. Menu signs; and
 6. Political signs.
 - b. Residence and commercial identification signs.
 - c. Change of copy on reader panel signs.
2. It shall be unlawful for any person to erect, place, construct, alter, or maintain any sign, except those exempt signs listed herein, when all required permits have not been issued for that sign. Each day such a sign is allowed to exist without having obtained the required permits, shall constitute a new offense.
 3. The permit fees shall be in the amount established by City Council resolution or pursuant to Glendale City Code Section 2-3.
 4. An application for a sign permit must be made in writing on forms provided by the Development Services Center. The following information will be required on all sign permit applications:
 - a. Address of the property.
 - b. Business name.
 - c. Business owner's name, address and telephone number.
 - d. Sign contractor's name, address, and telephone number.
 - e. Glendale sales tax number and contractor's license number.
 - f. Valuation of the sign(s).
 - g. Inventory of all existing signs on the property showing the type, dimensions, and location of each sign.
 - h. Fully dimensioned plans and elevations showing the dimensions, design copy, and location of each proposed sign.
 - i. Plans indicating the scope and structural detail of the work to be done; including details of all connections, supports, footings, and materials to be used.
 - j. Required information for an electrical permit for all electric signs.
 - k. Color, material, and letter samples when the sign is subject to design review.

Applications which do not include the required information shall not be accepted.

5. Permits for copy changes only, shall be processed within one (1) business day of submittal of application.
- b. Signs that do not require a Sign Permit

The following signs shall not require a permit. However, they shall conform to the requirements of the standards as set forth in Table 12, Sign Matrix of this PAD and any applicable sections of the Building Code.



1. Signs which are not visible from public streets or which are not visible from adjacent property. Notwithstanding the foregoing, a sign that is visible from a public street shall not require a sign permit if the sole purpose of the sign is to provide on-site directional or location information.
2. The flag, pennant, or insignia of any nation, state, county, city or other political entity. However, the display of more than one flag of this or any other nation, state, county, city or other political entity shall not be permitted. This section shall not prohibit the display of individual flags of multiple nations, states, counties, cities or other political entities.
3. Statuary or remembrances of persons or events that are noncommercial in nature and tablets such as memorials or cornerstones, or the name, date of erection and use of building.
4. Works of fine art when not displayed in conjunction with a commercial enterprise and through which an enterprise may not receive direct commercial gain.
5. Temporary decorations or displays celebrating the occasion of traditionally accepted ceremonies, patriotic or religious holidays.
6. Nameplates, street address signs, and combination nameplate and street address signs containing no advertising copy, not exceeding two square feet in area and limited to one per street front per use for residential uses.
7. Street address signs, wall-mounted nameplates and wall-mounted combination nameplate and street address signs containing no advertising copy.
8. Address directories as required and enforced by the Fire Marshal or his authorized representative in accordance with the Glendale Fire Code.
9. Changing copy on a legal sign, bulletin board, display encasement, or marquee; or maintenance where no structural changes are made; or the changing of the interchangeable letters on signs designed for them. However, repainting of painted wall signs when more than fifty percent of the copy has been removed shall require that written notice of the proposed repainting be received by the Development Services Center at least three days prior to repainting. Change on any sign when an increase in square footage occurs, shall require a permit. The nonconforming status of a sign shall not be affected by the repainting.

10. Temporary, non-illuminated, real estate signs, not more than three hundred twenty square feet in area, advertising the sale or rental of premises on which the sign is located.
11. Temporary, non-illuminated signs erected in connection with new construction work when displayed only during the actual construction work. Such signs shall be on the construction site and may identify the architects, engineers, contractors, and other firms involved in the construction and may advertise any product or the character or proposed use of the building.

Signs shall be measured as follows in Table 12:

Table 12: Sign Matrix

SIGN TYPE	FUNCTION	LOCATION	≠	HEIGHT	SIZE	ILLUMINATION	MATERIALS
Primary Identification	Street level Identification	Primary Entrances	TBD	20'	Approx. 150 Sq. Ft. Max	Internally Illuminated	Aluminum Construction Plex Face Stone Base
Secondary Identification	Main Entry Identification	Major Intersections and Throughout District Roadways	TBD	25' Arching Display Water Feature / LED	Approx. 200 Sq. Ft. Max	Internally Illuminated & Ground Lighting	Steel & Aluminum Construction Plex Face Rock Landscape
Vehicular Way-Finding	Development Vehicle Navigation	Internal Roadways	TBD	Up to 6'-8' x 10'-15' High Post and Panel	40-100 Sq. Ft.	Internally Illuminated	Aluminum Construction Plex Face
Pedestrian Way Finding	Guide Walking Visitors Through Districts	Along Pedestrian Paths & Streetscapes Throughout the Districts	TBD	Up to 7'	Up to 15-20 Sq. Ft. Per Sign Max.	Non-Illuminated	Metal



SIGN TYPE	FUNCTION	LOCATION	#	HEIGHT	SIZE	ILLUMINATION	MATERIALS
Pedestrian Directory	Visitor Orientation to District Destinations	Along Pedestrian Paths & Streetscapes Throughout the Districts	TBD	8'	48 Sq. Ft. Per Sign	Illuminated	Metal, Stone, or Plex
Garage Graphic Murals & Displays	Display Graphics for Tenants or Art Themes	Back Side or Street Side of Parking Garage	TBD	Various Heights & Locations	14'x20' 14'x30' 14'x48'	Indirectly Illuminated	Aluminum Mesh w/ Frame Digital or Fabric Graphics
Hotel Parapet	Primary Identification		TBD	12' First Floor Facade	300 Sq. Ft. Per Sign	Internally Illuminated Neon or LED	Aluminum Construction Plex Face
Hotel Street Level	Door Identification	Entry Doors	TBD	5'	Up to 2 Sq. Ft. Per Sign	Non-Illuminated	Gold Leaf, Digital Graphic or Vinyl Lettering
Hotel Street Level	Secondary or Ancillary Identification		TBD	12' First Floor Facade	Ratio is 3 to 1 to Approx. Sq. Ft.	Internally Illuminated or Non-Illuminated	Metal
Hotel Parapet	Hotel Identification		TBD	25 Floors Approx. 250'	Up to 2500 Sq. Ft. Per Sign Max.	Internally Illuminated Neon, LED or Fluorescent	Aluminum Construction Plex Face
Residential District	Identify Residential/Condo Buildings	Lower & Upper Levels of Buildings	TBD	Various Heights & Locations	30-80 Sq. Ft. High Rise 2500	Internally Illuminated or Non-Illuminated	Aluminum Construction Plex Face



SIGN TYPE	FUNCTION	LOCATION	#	HEIGHT	SIZE	ILLUMINATION	MATERIALS
Mixed-Use Entertainment District	Retail Shop Identification	Various Retail Shops Throughout the District	TBD	12'-24' First Floor Install	Up to 150 Sq. Ft. Per Sign	Internally Illuminated or Non-Illuminated	Metal, Stone, Wood or Plex
Mixed-Use Entertainment District	Restaurant Identification	Restaurant Entries	TBD	12'-24' First Floor Maybe Blade Signs Install	Up to 150 Sq. Ft. Per Sign Max.	Internally Illuminated or Non-Illuminated	Metal
Employment District	To Identify Office Buildings & Businesses		TBD	Street Level up to 20' High Rise Level up to 250'	Approx. 300 Sq. Ft. or 3 to 1 Ratio High Rise up to 2500	Internally Illuminated	Steel & Aluminum Construction Plex Face Rock Landscape
Parking	Parking Structure Identification	Various Parking Locations & Garages Throughout the Districts	TBD	15' to 25'	60 Sq. Ft. Max.	Internally Illuminated	Metal, Plex, Aluminum or Neon
Temporary Signage	Identification or Display of Special Events or Shows	Various Locations Throughout the Districts	TBD	Various	Various	Non-Illuminated, Internally Illuminated & Ground Lighting	Fabric, Metal, Glass Sculpture, Lighting Stone

#6.7



6.7 PERFORMANCE STANDARDS

Performance standards are hereby established to protect the community from hazards, nuisances and other negative factors; to ensure that land uses are not operated in such a manner as to cause a detrimental impacts on adjacent property and established land uses or the ambient community environment; and to preserve and enhance the lifestyle of *Centrada* residents through the protection of the public health, safety and general welfare. The following standards and restrictions shall apply to all properties within *Centrada*:

6.7.1 Live Entertainment

The purpose of these standards is to allow live entertainment as a permitted use subject to standards for live entertainment within *Centrada*. Live entertainment can be defined as music, comedy, readings, dancing, acting or other entertainment performed by one or more persons, whether or not such person or persons are compensated for such performances. This use includes dancing by patrons to live or recorded music. No adult entertainment uses will be permitted.

Standards:

- Hours of Operation shall not extend to the hours between 11:00 p.m. and 8:00 a.m.
- The maximum permissible sound level of any continuous, regular, or frequent source of sound produced by any use or activity shall be in accordance with the City of Glendale Municipal Code, Article V: Noise

6.7.2 Special Events

The purpose of this standard is to maintain order affiliated with public assembly and gatherings within the *Centrada* common open space areas for sponsored events such as art fairs, culinary fairs, wine tasting, musical concerts, art showings, craft fairs and all similar functions will be subject to the following standards:

Standards:

Parking management will be required based on the number of participants attending the Event.

0 – 50 participants: No standards apply

50 – 500 participants: Valet parking

500 – 1,000 participants: 1) Valet parking
2) Onsite parking manager
3) One City of Glendale police officer assigned to traffic management, maintaining general public order.

1,000 or more participants: 1) Valet parking
2) Onsite parking manager



3) Two City of Glendale police officers assigned to traffic management, and maintaining general public order.

- Hours of Operation shall not extend to the hours between 1:00 a.m. and 8:00 a.m.
- The maximum permissible sound level of any continuous, regular, or frequent source of sound produced by any use or activity shall be in accordance with the City of Glendale Municipal Code, Article V: Noise

#6.8



6.8 DEFINITIONS

6.8.1 Rules of Construction

For the purposes of carrying out the intent of this Planned Area Development, certain terms or words used herein shall be interpreted or defined as follows:

1. Words used in the present tense include future, words used in the singular include plural and words used in the plural include the singular.
2. The word "shall" is mandatory.
3. The word "dwelling" includes the word residence; the word lot includes the words plot or parcel.
4. The word "person" includes an individual firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver, syndicate, or any other group or combination acting as a singular entity, including the federal and state government, another City, county, or school district, except as exempted by law.
5. The term "City" shall mean the collective Departments mandated to act in favor of protecting the public health, safety and welfare of residents within the City of Glendale; the term "Council" shall mean the City Council of the City of Glendale; the term "Commission" shall mean the Planning & Zoning Commission acting on legislative matters on behalf of the City of Glendale; and the term "Board" shall mean the Board of Adjustment acting on judicial matters on behalf of the City of Glendale.
6. Terms not herein defined shall have the meanings customarily assigned thereto.

6.8.2 Definitions

Abandonment by Plat means the procedure whereby the owner of land may abandon an easement or temporary easement(s) and landscape easements by including the easement(s) on a subdivision plat. Such easements are abandoned, removing interest therein, upon approval by the City Council and recording of the plat in the Office of the County Recorder.

Abutting means the condition of two adjoining properties having a common property line or boundary, including cases where two or more lots adjoin only a corner or corners, but not including cases where adjoining lots are separated by a street or alley.



Access or Access way means the place, means or way by which pedestrians and vehicles shall have adequate and usable ingress and egress to a property or use as required by this Planned Area Development.

Accessory Building means a detached building whose use is customarily incidental to that of a principal use of the main building or premises.

Accessory Use means a subordinate use of a building or land customarily incidental to and conducted on the same lot with the principal use which does not alter the character of the principal use or adversely affects other properties within the PAD.

Acreage, Gross means the acreage defined by any recorded parcel of land within the PAD legally defined area, plus one-half (1/2) the right-of-way of all adjoining streets and alleys and any proportional share of a common tract or tracts.

Agriculture means the science, art, or occupation concerned with cultivating land, raising crops, and feeding, breeding, and raising livestock or poultry.

Alcoholic Beverage Sales means the sale of beer, wine, and/or other alcoholic beverages for on or off premises consumption regardless of whether it is subordinate to another use.

Alley means a private tract or dedicated public way affording a secondary means of vehicular access to abutting property and not intended for general traffic circulation.

Alteration means any architectural, mechanical, or structural change to a building, which requires a permit under the Building Code of the City.

Amphitheater means an outdoor structure where the presentation of concerts, plays, films, or other dramatic performances occur with seating around an arena or central *open space*.

Analogous means similar or alike.

Antique, Crafts and Collectibles Sales means a retail business specializing in the sale of merchandise made in, or typical of, a previous era. Typical merchandise includes, but is not limited to, furniture, silverware, glassware, and other collectibles. Items shall not be donated for resale, but may be displayed on consignment.

Apparel Sales means store selling new or used merchandise.



Applicant means a development entity seeking the approval of zoning, site plans, subdivision plats, zoning adjustment or construction documents as necessary to authorize the development of the Centrada Planned Area Development.

Application means the submittal of conceptual development plans or construction documents as necessary to obtain the approval of zoning, site plans, subdivision plats, zoning adjustment or construction documents in accordance with the provisions of the Centrada Planned Area Development.

Arcade Establishment means any place of business containing five (5) or more arcade devices or a combination of arcade devices and billiard tables.

Art Gallery means a room or group of rooms used to display and sell works of art.

Art/Craft Studio means a room or group of rooms used by artists and craftspeople in the creation of their work. Including: painting, photography, sculpture, ceramics and other related arts and crafts.

Assisted Living Center means a multi-family congregate housing for the elderly and/or handicapped living in separate dwellings in which all units, other than those used for the specific purpose of managing and operating the project, are occupied by a household in which all persons, or at least one spouse of a married couple, is 60 years old or older, or the household is headed by a person which a physical impairment which is expected to be of a long duration and which substantially impedes the person's ability to live independently. The assisted living center must have a common eating area and provide food service to residents.

Auditorium means an indoor or outdoor hall which contains a permanent stage and which is primarily used for public meetings or performances.

Automobile Detailing means performing an extremely thorough cleaning, polishing, and waxing of an automobile both inside and out.

Automobile Repair means a repair of automobiles and the sale, installation, and servicing of automobile equipment and parts. Typical uses include muffler shops, tire shops, automobile repair garages, automobile detailing, tune-up shops, stereo installation and automobile glass shops and subject to performance standards.



Bar/Nightclub means an establishment providing entertainment such as live music, dancing, and on-site alcohol consumption, but not adult entertainment.

Block means a piece or parcel of land or group of lots entirely surrounded by public streets or other transportation corridors.

Board means the City of Glendale Board of Adjustment acting on behalf of the City on judicial matters.

Building means any structure having a roof and used or built for the shelter or enclosure of persons, animals, chattels or property of any kind, including, but not limited to, tents, awnings, carports, ramadas, or vehicles situated on private property and used for purposes of a building.

Building, Principal means a building, or where the context so indicates, a group of buildings, within which is conducted the principal use of the lot on which the building is situated.

Building Codes means the various codes of the City which regulate construction and require *building permits*, electrical permits, mechanical permits, plumbing permits, and other permits to do work and pertaining to National building regulations.

Building Coverage, see lot coverage.

Building Height means the vertical distance measured from the higher of natural grade level or finished grade level as established by the City Engineer, to the highest point of the roof for flat roofs, to the deck line of a mansard roof or to the average elevation between eaves and ridges for gable, hip or gambrel roof.

Building Permit means an authorization to construct a structure as issued by the City and as authorized by the Design Review Committee (DRC). The Centrada DRC shall render an approval of each proposed development (plat or site plan) prior to an action by the City.

Church, Synagogue or Temple means a permanently affixed building, where one of the principal uses is for religious worship.

City means the City of Glendale.

Civic means a use operated by a public agency or non-profit organization for the primary purpose of providing a service to the general public. Such uses are dedicated to, by way of example but



without limitation, arts, culture, education, recreation, government, transit and municipal/public parking.

Commercial Parking Lots or Garages means a lot or garage upon which cars are parked subject to remuneration.

Commission means the City of Glendale Planning & Zoning Commission acting on behalf of legislative matters for the City.

Committee means the Centrada Design Review Committee acting on behalf of quasi-judicial matters for the Centrada Master Developer and all CPOA members.

Conceptual Development means building footprints, land use, signage, lighting, open space, landscaping, streets, etc. as depicted on the plan relates to concepts or the formation of concepts.

Conditional Approval means an affirmative action by the City indicating that approval will be forthcoming upon satisfaction of certain specified conditions or stipulations.

Conditional Use means a use permitted in zoning district regulations, subject to a finding that all criteria imposed pursuant to this Planned Area Development will be met.

Condominium means a building or group of buildings in which the air space of units are owned individually as defined by a horizontal regime, and the structure, common areas and facilities are proportionally owned by all the owners on an undivided basis. Condominiums may be residential, commercial or industrial in nature.

Congregate Care Facility means a long term residential facility for elderly persons within which are provided living and sleeping rooms, a common dining, laundry services, and room cleaning. Such facilities may also provide other services such as transportation for routine social and medical appointments.

Construction Yard means an area on or immediately adjacent to a major construction site used as a temporary basis for parking and storage of equipment used in the project, and the storage and preparation of materials and other items used in the project, including construction offices and material staging.

Convenience Store means a small scale retail establishment the primary purpose of which is the sale of fresh and packaged food, dry goods,



and nonprescription medicine primarily to customers from the immediate area.

Council means the City Council of the City of Glendale.

Daycare means daycare centers as defined by the Health and Safety Code, and the daycare and supervision of more than five (5) or more children not related to the proprietor.

Density, Gross means the number of residential units divided by the gross area of a lot created by a recorded land split, subdivision or map of dedication.

Density, Net means the number of residential units divided by the net acres of a lot created by a recorded land split, subdivision or map of dedication.

Design Review Committee means a development advisory and code enforcement committee established and empowered by the Centrada Covenants, Conditions and Restrictions to oversee the incremental development of the Centrada PAD through the review of development site plans, subdivision plats and constructions documents as necessary to implement the "committee mission".

Drive, Private means vehicular circulation drives defined by the Centrada Master Plan as necessary to maintain vehicular access, emergency response, utility routes, bicycle and pedestrian movements to each building and as managed and maintained by the CPOA.

Dwelling Unit (DU) means a building, or portion thereof, designed as a unit for occupancy by one family for cooking, living and sleeping purposes.

Dwelling, single-family, attached means a building containing dwelling units attached by common walls and contained on individual platted lots or as divided by horizontal regime. The term attached single-family dwelling is intended primarily to apply to such dwelling types as townhouses or condominium developments with non-vertically stacked units, and other buildings which contain dwelling units with primary ground floor access.

Dwelling, multi-family means a building or buildings attached to each other and containing three or more dwelling units on one lot or a condominium development with vertically stacked units. The term multi-family dwelling is intended primarily to apply to such dwelling types as condominiums, apartments, and buildings where any dwellings have



their primary access to a common internal hallway or external corridor and/or common stair.

Easement means a grant of rights by the owner of property to the public, a corporation, an association or persons for a specified use or uses as so designated for a defined area.

Emergency Care Clinic means a medical facility for the diagnosis and treatment of human patients which may include emergency service, but not overnight housing of patients.

Effective Date means the date upon which this Planned Area Development or any amendment hereto becomes effective.

Erected means built, constructed, altered, reconstructed, moved upon; any physical operations on a premises which are required construction, excavation, fill, drainage and the like, shall be considered part of an erection.

Excavation means any breaking of ground, except agricultural soil tilling and grounds care.

Exclusive Parking means a parking space within a parking structure or at grade parking that is designated to a specific use or user.

Farmers Market means consisting of retail markets for sale of food such as produce, nuts, honey, eggs, and processed food such as baked goods or juices. Such markets are typically run by an organization of food producers who market directly to the public and who are required to meet all requirements of the Maricopa County Environmental Health.

Finished Grade means the final grade or elevation of the ground surface after grading is complete.

Flood Plain means the 100-year flood plain established by the Federal Emergency Management Agency (FEMA) or other town floodplain management approved area adjoining a channel or a water course, or areas where drainage is, or may be, restricted by natural or human made structures, which may have been or may be covered partially or wholly by floodwater from a base flood.

Floor Area, Gross means the total of all floors of a building measured from the centerline of all exterior walls, but not including interior parking spaces, loading space for motor vehicles, or any space where the floor-to-ceiling height is less than six (6) feet.



Floor Area, Net means the total of all floors of a building, excluding stairwells and elevator shafts, equipment rooms, interior vehicular parking or loading; and all floors below the first or ground floor, except when used or intended to be used for human habitation or service to the public.

Floor Area Ratio means the ratio of gross floor area to the total gross area of the parcel expressed as a percent or decimal. Any area included within a basement where the floor level is at least five (5) feet below the adjoining finished grade or area devoted to the parking of automobiles shall be subtracted prior to calculation of the floor area ratio. Where rounding of numbers is necessary to determine floor area ratio, the nearest one hundredth (.00) shall be used.

Four Sided Architecture means incorporating design elements into each of the four sides of the building while pairing economic feasibility with sustainable design.

Galleries and Studios means an establishment related to art venues. Arts and entertainment activities may also be part of restaurants and other mixed use spaces.

General Plan, City of Glendale means a general plan, or parts thereof, providing for the future growth and improvement of the City of Glendale and for the general location and coordination of streets and highways, schools and recreation areas, public building sites, specific neighborhood elements; and other physical development, which shall have been duly adopted by the City Council.

Glazing means a variety of tints, coatings, films, number of panes, and other features that control how much light is allowed into a building and how much heat, cold, and noise it blocks out.

Grade means the average level of the finished ground surfaces surrounding a building or structure, within a distance of twenty (20) feet.

Grading means any excavating, or filling or combination thereof, including the conditions resulting from any excavation or fill.

Grocery means a small scale retail establishment the primary purpose of which is the sale of fresh and packaged food, dry goods, prescription medicine primarily to customers from the immediate area.

Gross Area means the area of a lot or parcel including all dedicated streets, alleys, private accessways, roadway and or alley easements, and



canal *rights-of-way*. Gross areas shall extend to the center of the existing abutting street or alley right-of-way.

Hardscape, Active means developed areas within *Centrada* that are improved for pedestrian circulation, public gathering, and *special events*. These areas are typically improved with colored concrete, special finished concrete, brick pavers, stone pavers or other decorative methods to define the area as defined pedestrian space.

Hardscape, Passive means areas improved within *Centrada* that are not commonly used by pedestrians.

Health/Fitness means establishments offering predominately participant sports within an enclosed building. Typical uses include bowling alleys, billiard parlors, indoor ice or roller skating, indoor racquetball courts, indoor batting cages and health or fitness clubs.

Heliport means any helistop, which also includes all necessary passenger and cargo facilities; helicopter maintenance and overhaul, fueling service, storage, tie-down areas, hangars, and other necessary buildings and open spaces. Heliports include any of the uses of helistops.

Home Occupation means any occupation or profession conducted from a principal residence in a residential zoned district, as an accessory use.

Hospital means a medical facility for the diagnosis and treatment of human patients including overnight housing for patients.

Hotel means a building, which provides six (6) or more guest rooms for the lodging of travelers and other temporary residents, and may include customarily incidental uses such as meeting rooms, restaurants, and cocktail lounges.

Laboratory means a place devoted to experimental study such as testing and analyzing, but not including manufacturing of products.

Live Entertainment means facilities, which include music by more than one (1) musician, or dancing. Such facilities can be approved through administrative review, if the entrances to and exit from the building are located more than three hundred (300) feet from any single family residential use. The dance floor may not exceed one-eighth (1/8) of the total floor area. No adult entertainment shall be permitted. The closing time of the dance floor shall be simultaneous with the closing of the bar.

Live-Work Units means dwelling units with at least two stories that are used both as a primary residence and for either a professional office or



retail business owned and operated by one of the residential occupants. The professional offices or retail shop must be located on the first floor with windows and direct access to the adjacent street/sidewalk. These units shall not be subject to the provisions of Section 7.304 of the Zoning Ordinance (Home Occupations).

Living Area means the occupied portion of a residence, including interior areas, exterior porches and partially enclosed areas, not including garage.

Lodges and Fraternal Associations means an association of persons, whether incorporated or not, for social purposes, but not including groups which are organized primarily to render a service carried on as a business for profit.

Lot means a lot or parcel of land separated from every other piece or parcel by description, in a subdivision or on a recorded survey map, or by metes and bounds, for purpose of sale or separate use.

Lot Area, Gross means the total area of a lot within the lot lines as measured on a horizontal plane to all lot corners and half the adjacent right-of-way.

Lot Area, Net means the total area of a lot within the lot lines as measured on a horizontal plane to all lot corners and exclusive of any adjacent *rights-of-way*.

Lot Coverage means the part or percentage of a lot occupied by a principal and any accessory buildings determined by dividing the total gross floor area by the net lot area.

Lot Line means a line bounding a lot; synonymous with street right-of-way line when a lot line coincides with a right-of-way line of an abutting street.

Map of Dedication means a form of subdivision plat that dedicates rights-of-way, and/or easements.

Massing means to reduce the bulk of the buildings by breaking down the mass into human scale; to offer a variety and consistency along the street face.

Medical/Dental Clinic means an establishment providing medical, psychiatric, surgical, dental or other health-related services. This includes medical, dental, psychiatric or other therapeutic services offered in individual offices or suites, which may include laboratories incidental to



the practitioner's consulting or therapeutic work but excluding licensed health facilities.

Mixed-Use means a development that is an important component of successful transit-oriented development, traditional neighborhood development, and smart growth/livable community development schemes. Mixed use developments contain a complementary mix of uses such as residential, retail, commercial, employment, civic and entertainment uses in close proximity - sometimes in the same building. Compatibility issues are addressed through performance standards, transition tools, careful site layout and building design, rather than by separating uses into single use zones.

Multifamily Residential means the use of a site for two or more dwellings within one or more buildings.

Net area means the area of a lot or parcel excluding all dedicated streets or alleys and roadway or alley easements.

Non-Exclusive Parking means a parking space within a parking structure or at-grade which is available to any visitor, employee, or resident of the project area.

Nursing Home means an extended health care facility providing lodging, meals, treatment, and skilled nursing care on a long-term basis to individuals who, because of advanced age, chronic illness, or infirmity, are unable to care for themselves.

Off-street means land, which is not within any dedicated rights-of-way.

Office means a use that provides professional, administrative, or business related services. Production, storage, distribution, or sales of goods or commodities are not included.

Open Space means an area that is intended to provide light and air and is designed for either environmental, scenic, stormwater management and/or recreational purposes. Open space may include, but is not limited to turf areas, desert planting areas, walkways, active and passive recreation areas, playgrounds, fountains, swimming pools, roof gardens, and /or water courses. Open space areas are further defined into the categories of "hardscape - active" and "softscape active" as contributing to the Centrada Open Space area.

Outdoor Dining means a use incidental to the primary use, such as a restaurant, that allows patrons to dine in a designated outdoor area.



Outdoor Sales means the display of products or services are intended for retail or wholesale purchase not within a completely enclosed building.

Parking Lot means an area other used for the off-street parking of more than two motor vehicles, including parking spaces, as well as access and maneuvering aisles.

Parking Space, Off-street means a space designated for the temporary parking of a motor vehicle not on the right-of-way or alley but accessible from a street or alley.

Parks and Recreation, Outdoor means open space area accessible by pedestrians that includes amenities such as walkways, playfields, armadas, sport courts, and water features

Paved Parking Space or Surface means an area covered by an impervious dust free surface of asphalt or concrete designed to Town or MAG specifications.

Pedestrian Scale means buildings scaled to human physical capabilities as in steps, doorways, railing, work surfaces, seating, shelves, fixtures, walking distances, and other features that fit well to the average person.

Personal Services means establishments primarily engaged in the provision of services for the enhancement of person appearance, cleaning, alteration or reconditioning of garments and accessories, and similar non-business related or non-professional services. Typical uses include salons, barber shops, tailors, shoe repair, laundries and dry cleaning, but exclude uses classified under the Office and Trade School.

Planning Director means the person designated by the City Manager as having the primary responsibility for administering and enforcing the requirements and conditions of the PAD with respects to the public health, safety and welfare.

Plat means a map for the subdivision of land.

Plat, Final means a map of all or part of a subdivision providing substantial conformance to an approved preliminary plat, prepared by a registered Arizona land surveyor or civil engineer in accordance with the provisions of the Centrada PAD.

Plat, Preliminary means a preliminary map, including supporting data, indicating a proposed subdivision development, prepared in accordance with the provisions of the Centrada PAD.

Plat, Recorded means a final plat bearing all of the certificates of approval as required by the Centrada PAD and common law and duly recorded in the Maricopa County Recorder's office.

Principal Use means the main or primary use on any lot or parcel which establishes the basic land use characteristics of the property, as opposed to an accessory use. In some instances, a property may have more than one (1) principal use.

Private Access Way means any private street or private way of access to one or more lots, which is owned and maintained by an individual or group of individuals and has been improved in accordance with approved standards for private access ways and plans approved by the City of Glendale. A private access way is intended to apply where its use is logically consistent with a desire for neighborhood identification and control of access, and where special design concepts may be involved, such as within PADs.

Public Utility means any person, firm, corporation, city or special taxing district authorized under State Statute or city charter or code to provide to the public electricity, natural gas, steam, water, drainage, flood control, irrigation, or wastewater collection and treatment. The provision of telecommunications services by any provider of a public utility or by any person, firm, corporation or special taxing district is not a "Public Utility."

Project means one (1) or more uses, buildings, or tenant spaces designed to function as an integral unit through shared parking and driveways, even though there may be separate ownership's and parcels.

Property Owners Association means an organization which is authorized by the Centrada Codes, Covenants and Restrictions to accept and manage the responsibility of all maintenance and management responsibilities for all common areas defined within the PAD.

Residential Dwelling Unit means high density urban residential development to include, but not limited to, a variety of dwelling types including Loft, Condominium, Townhome, Flat, Apartment, Duplex, Triplex, Quadplex, Villa, Mansion, Row House, and Courtyard Housing.

Resort Hotel means a building or group of buildings containing guest rooms providing a variety of outdoor recreation activities such as golf, tennis, or swimming for guest. A resort may provide services customarily furnished by a hotel including restaurants, gift shops, bar, and convention facilities. A resort may contain dwelling units in conjunction with guests' rooms.



Restaurant means any food service establishment such as but not limited to; coffee shops, cafeterias, short-order cafes, luncheonettes, sandwich stands, drugstores, and soda fountains serving food, and all other eating or drinking establishments provided that at least forty percent (40%) of the total sales are derived from the sale of food.

Retail stores, general merchandise means stores selling new or used merchandise including but not limited to: antiques, apparel, bicycles, books, cameras, drugstores, electronics, floor/window coverings, food market, florist, furniture, glassware, gifts, hobbies, jewelry, lighting, music, pets, portraits, shoes, sporting goods, telephone, tobacco, and toys.

Retail Vendor Cart means any non-motorized vending unit such as a kiosk, cart, stand or display intended to provide outdoor sales of food, beverages, merchandise, and shoe shining services.

Retaining Wall means an engineered structure constructed and/or erected between land of differing elevation to protect structures and/or prevent erosion.

Rights-of-Way means a public way established or dedicated exclusively for public purposes by a duly recorded plat, deed, grant, governmental authority or by operation of the law.

Schools (Professional/Technical/Higher Education) means a place of general instruction including colleges, but not including business colleges, child care centers, dancing schools, or specialized trade or vocational schools.

Screen Wall means a masonry wall so constructed as to completely block at least eighty-five percent (85%) of the view of enclosed activities or uses from adjacent real property that is approximately the same elevation as the activity or use.

Setback means the required distance between the property line and the closest point of any building or structure.

Site Plan means a development plan depicting the plan view of the intended development for a defined development site and providing the necessary information as defined by the Centrada PAD to determine development compliance with the development standards provided by the PAD.

Small Animal Grooming Facility means an establishment, at which dogs, cats, or other small animals are commercially groomed, bathed or trimmed. There shall be no boarding or overnight keeping of any animals,



and all animals shall be inside an enclosed sound proofed building at all times.

Softscape, Active means improved landscape area intended for active recreation and / or for specialty landscape plantings. These areas typically include turf treatments, may include water features and may include accent plantings within immediate proximity with active hardscape areas.

Softscape Passive means landscaped areas not intended for pedestrian use. These areas include parking and retention areas.

Special Events means public assembly / gatherings within the Centrada common open space areas for sponsored events such as art fairs, culinary fairs, musical concerts, art showings, craft fairs and all similar functions of which comply with the performance standards defined by this PAD.

Story means a space in a building between the surface of any floor and the surface of the next floor above, or if there is no floor above; then the space between such floor and the ceiling or roof above; provided, however, that where the floor level of the first story is at least five (5) feet below the adjoining finished grade, the space shall be considered a basement and not counted as a story.

Street means a right-of-way, other than an alley, dedicated or otherwise legally established for public use, usually affording the principal means of access to abutting property.

Street, local means a street designed to provide vehicular access to abutting properties and to discourage through traffic.

Street, public means any street, which has been dedicated or is otherwise publicly managed by the City. Any local street, not in compliance with the criteria to establish a public local street, shall be deemed a private street for management by an Association.

Street Line means a right-of-way line of a street, which abuts a lot line.

Streetscape means the urban element that establishes the major part of the public realm. The streetscape is composed of thoroughfares (travel lanes for vehicles and bicycles, parking lanes for cars, and sidewalks or paths for pedestrians as well as use frontage (building facades, porches, yards, fences, awnings, etc.) and street amenities (street trees, plantings, benches, streetlights, fountains, etc.).



Street Furniture means objects and equipment installed in public areas for various purposes, including benches, bollards, post boxes, phone boxes, streetlamps, street lighting, bus stops, public lavatories, fountains, memorials, and waste receptacles.

Structure means that which is built or constructed, an edifice or building of any kind or any piece of work artificially built up or composed of parts joined together in some definite manner and attached to the ground.

Subdivision means improved or unimproved land or lands divided for the purpose of sale or lease, whether immediate or future, into four or more lots, tracts or parcels of land, or if a new street is involved, any such property which is divided into two or more lots, tracts or parcels of land, or, any such property, the boundaries of which have been fixed by a recorded plat, which is divided into more than two parts.

Temporary Office or Construction Trailer means a temporary portable unit for office use, which is designed to be transported, after fabrication, on its own wheels, or on a flatbed, other trailer, or have detachable wheels.

Timeshare means a facility in which a person receives the right in perpetuity, for life or for a specific period of time, to the recurrent, exclusive use or occupancy of a lot, unit or portion of real property, for a period of time that has been or will be allocated from the use of occupancy period into which the facility has been divided. A timeshare use may be coupled with an estate in the real property or it may entail a license, contract, membership, or other right of occupancy not coupled with an estate in real property.

Traffic Management Authority (TMA) means a commercial and employment property association formed to promote the use of multiple transportation modes and to provide incentives to reduce the reliance on single occupant vehicles. A TMA Program might include ride share programs, public transit rider subsidies, bicycle parking facilities as commercial and employment facilities, management of park and ride facilities, and the funding and operations of jitney services.

Usable Floor Area means the aggregate area of a building measured to the centerline of exterior walls on the first story, and including the floor area, similarly measured, of each additional story which is connected to the floor area or all accessory buildings, measured similarly, but excluding that part of any floor area which is occupied by heating, ventilating or other permanently installed equipment required for the operation of the building and by unenclosed porches, light shafts, public corridors and public restrooms.



Use means the purpose for which a building is arranged, designed or intended, or for which land or a building is or may be occupied.

Use, Accessory means a subordinate use to the principal use on a lot and used for purposes clearly incidental to those of the principal use.

Use, Mixed means a development that is an important component of successful transit-oriented development, traditional neighborhood development, and smart growth/livable community development schemes. Mixed use developments contain a complementary mix of uses such as residential, retail, commercial, employment, civic and entertainment uses in close proximity - sometimes in the same building. Compatibility issues are addressed through performance standards, transition tools, careful site layout and building design, rather than by separating uses into single use zones

Use, Principal means the main use to which the premises are devoted and the main purpose for which the premises exist.

Utilities means the installation of facilities, underground or overhead, furnishing for the use of the public electricity, gas, steam, communications, water, drainage, sewage disposal, or flood control, owned and operated by any person, firm, corporation, municipal department, or board, duly authorized by state or municipal regulations. Utility or utilities as used herein; may also refer to such persons, firms, corporations, departments, or boards, as applicable herein.

Variance means a modification of the literal provisions of the development regulations contained within the Centrada PAD as granted by the Board upon a finding that strict enforcement of the regulation would cause undue hardship owing to circumstances unique to the individual property for which the variance is granted.

Veterinary Clinic (completely enclosed) means an office maintained by a licensed doctor of veterinary medicine for the treatment and care of small animals, namely the usual household pets and other animals of a similar size and nature but not livestock.

Wireless Communication Facility means a facility for the provision of personal wireless services as defined by the Telecommunications Act of 1996, and any amendments thereto. Wireless communication facilities are composed of two or more of the following components: antenna, mount, equipment shelter, wall or security barrier.

Yard means an open space located between any portion of a building and the nearest lot line, or the nearest adjacent building or group of



buildings, as the context indicates, unoccupied and unobstructed from the ground upward, except as otherwise provided for in this chapter.

Zoning Inspector means the municipal official appointed by the City Manager and assigned the duties and responsibilities of the Office of Zoning Inspector as hereinafter provided.

#6.9



6.9 IMPLEMENTATION

The Centrada Planned Area Development will be implemented in multiple phases over an extended period of time. This PAD, with its supportive master plans, provides a depiction of the envisioned land use, development intensity, development functionality and general quality. This PAD will be implemented through the commencement and completion of the following processes:

6.9.1 Site Plan Review

Each phase of development will comply with the provisions of Section 3.600 (Design Review) of the City of Glendale Zoning Ordinance.

6.9.2 Subdivision Review

If land divisions are proposed, each phase of development which may include the subdivision process will comply with the provisions of Chapter 31 (*Subdivision Regulations*) of the Glendale City Code.

6.9.3 Codes, Covenants and Restrictions

The Centrada property will be governed by a comprehensive set of Codes, Covenants and Restrictions. Once recorded, all use, development and property management activity on the Centrada property will be in strict conformance with the recorded standards. It is these standards which will authorize the formation of the *Centrada Property Owners Association* (CPOA), empower the *Design Review Committee* (DRC) and establish all roles and responsibilities of the CPOA and the DRC.

#6, 10



6.10 PAD APPEALS AND VARIANCE PROCEDURES

The following provisions are intended to provide procedures for informal (administrative) and formal (judicial) appeals and variances. The appeals processes are intended to provide the *Applicant* with relief from a decision or action by the City, pursuant with the authority provided to the City related to the implementation of the regulatory development provisions (contained within the *Centrada PAD*) and the general pursuit of safe guarding the public health, safety and welfare. There are two distinct categories of appeals; Development Review and Technical. The Planning Director shall have the authority to determine the correct appeal procedures upon the acceptance of an appeal request by an *Applicant*. Decisions or actions by the City related to the review and approval of *site plans*, subdivision *plats* or other administrative acts may not be appealed by the public. Concerns expressed by the public related to an action or decision of the City may be considered within the judicial proceedings if in the opinion of the City the concerns expressly pertain to the City's mission to protect the public health, safety and welfare.

6.10.1 Development Review Appeal Procedures

Development review appeals are intended to provide an *Applicant* with an avenue of relief from a decision or action made by the City related to the pursuit of the City's mission to protect the public health, safety and welfare. Development review appeals most commonly pertain to the implementation of development standards provided herein, which promote staff interpretation of applicability. Many of the development standards provided within the *Centrada PAD* are designed to "guide" the design of sites and subdivisions and are written in a manner that warrants staff or Planning & Zoning Commission judgment for the appropriate implementation of the standard. In many cases, these anticipated judgments are specifically identified directly within the development standards. The Development Review Appeals procedures are specifically designed to respond to conflicts affiliated with the implementation of these standards. The procedures follow:

6.10.2 Administrative Appeal of Development Review Decisions

Pursuant to Section 3.400 of the Glendale Zoning Ordinance, an action or decision of the City staff arising from the administration of the administrative and/or policy provisions contained within the PAD may be appealed by the *Applicant* to the City Manager within fifteen (15) calendar days of the issuance of a written action or decision. Intended deviations from conditions, which are clearly defined regulatory provisions, shall follow the Technical Appeal or Variance Procedures as provided below. A Development Review Appeal will initially be processed in accordance with the following procedures:



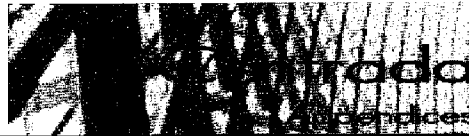
- a. Appeals shall be in writing and shall specifically set forth those decisions of the City, which are being appealed. The appeal shall be filed with the Planning Director.
- b. The Planning Director shall have the responsibility to coordinate the position of the City affiliated with the requested appeal within a ten (10) calendar day period of the requested appeal.
- c. The appeal will be heard by the City Manager within fifteen (15) calendar days of submission.
- d. A decision, in writing, on the appeal will be made by the City Manager within five (5) calendar days from the date of the hearing and transmitted to the *Applicant* and any interested parties.
- e. In the event the *Applicant*, within the specified time frame as provided below, does not challenge the decision or action by the City Manager, the decision of the City Manager shall be final.

6.10.3 Appeal of Administrative Decisions

All decisions and interpretations by the Planning Director performed in accordance with Section 3.400 may be appealed to the Board of Adjustment in accordance with the procedures prescribed in the Section 3.700 of the Glendale Zoning Ordinance.

6.10.4 Technical Appeal Procedures

Per City of Glendale Zoning Ordinance Section 3.600, technical review appeals are intended to provide an Applicant with an avenue of relief from a decision or action made by the City related to the pursuit of the City's mission to protect the public health, safety and welfare. Technical Appeals most commonly pertain to the implementation of development standards provided herein, which promote a strict standard of clear applicability of a development review exaction, which is not justified as proportional to the impact imposed by the proposed development plan and not supported by the PAD. This appeal procedure is most commonly applied to technical development or engineering standards and requirements that do not relate to the zoning standards but have a basis in an engineering standard. Many of the development standards provided within the Centrada Planned Area Development provide precise technical development or engineering standards that direct a "precise" design solution for the preparation of site plans, subdivisions plats or construction documents. The Technical Appeals procedures are specifically designed to respond to conflicts affiliated with the implementation of these standards or to development requirements that



are not proportional to the project's demand on infrastructure systems or the intended provisions defined by the PAD. The procedures follow:

1. The applicant may appeal the Planning Director's decision to the Planning Commission if that appeal, including appeal fee, is made in writing to the Planning Director within fifteen (15) days of the decision. The appeal letter shall describe the unresolved issues and describe what design solutions are proposed by the applicant. The applicant shall be notified of the date of the Planning Commission meeting to consider the appeal, a minimum of fifteen days prior to the public hearing.
2. The decision of the Planning Commission shall be final unless an appeal to the City Council is made by the applicant in writing to the Planning Director within fifteen (15) days of the Planning Commission's decision. The appeal letter shall state the reasons for the appeal and be accompanied by the required fee. The applicant shall be notified of the date of the Planning Commission meeting to consider the appeal, a minimum of fifteen days prior to the public hearing.

6.10.5 Variance Procedures

The Variance Procedures are to be utilized by any person(s) whom may experience unreasonable limitations to the preservation and/or enjoyment of his/her property rights through the *application* of the PAD provisions provided within the Development Standards Subsection of the *Centrada* PAD. The Variance Procedures are intended to provide the general public with an avenue of either administrative review or public judicial review of a decision or action made by the City related to the pursuit of the City's mission to protect the public health, safety and welfare. The Variance Procedures are specifically designed to respond to conflicts associated with the implementation of the regulatory provisions contained within the Development Standards Subsection. The procedures follow:

Board of Adjustment Review and Action

- a. An *Application* shall be in writing and shall specifically set forth by allegation or allegations the basis of the *application* or request for Variance. The *Application* must specifically define the specific variation or variations from the provisions of the PAD provisions requested to alleviate the error or hardship alleged.
- b. The Planning Director shall have the responsibility to coordinate the position and findings of the City affiliated with the requested Variance within a twenty (20) calendar day period of the requested Variance request. The Planning Director shall



also be charged with the responsibility to provide public notice as follows:

- c. The Planning Director give notice thereof to the general public by publishing a notice in a newspaper of general circulation in the City of Glendale providing at least fifteen (15) days notice of such a hearing; and
- d. Posting the property at least fifteen (15) days prior to such hearing, with a sign defining the nature of the request and the time and date of the Board of Adjustment hearing date.
- e. The Board of Adjustment will hear the request on the date and at the time as provided by the public notice.
- f. The Board of Adjustment may:
 - 1. Grant the request upon the development of findings, which support the State Statutes;
 - 2. Deny the request upon review and determination that sufficient findings do not exist under the provisions of State Statutes to approve the request; or
 - 3. Continue the request to a later date to hear additional public testimony or review additional supporting documentation.
- g. This decision of the Board of Adjustment shall be final, except as defined by Arizona Law.

#6.11



6.11 PAD AMENDMENT PROCEDURES

The following provisions are intended to provide criteria for the determination of major and minor amendments to the Centrada PAD. In addition, this Section is intended to define the amendment procedures applicable to major and minor amendments.

6.11.1 Formal Amendments

Formal amendments to the PAD as represented by the Plan narrative as expressed through the Introduction, Existing Development Conditions, Master Plan and Development Standards defined within this PAD may become necessary from time to time, and for various reasons which are envisioned as follows:

- to respond to changing market or financing conditions,
- to update the PAD as necessary to reflect new development conditions, and/or
- to respond to the requirements of potential users or builders on the property.

Amendments to the approved PAD may be requested by the Master Developer, and / or any land owner within the defined limits of the Centrada project. Only the contents of the specific amendment request may be considered and acted upon by the Planning Director, Glendale Planning Commission and Glendale City Council.

When changes or modifications to the PAD are deemed necessary or appropriate by the Master Developer and / or land owner within the defined limits of the Centrada project, proposed amendments or modifications shall conform to the following procedures:

1. The *applicant(s)* shall submit a letter which defines the proposed amendment and a rationale for such amendment to the City of Glendale Planning Director outlining the *applicant's* interpretation of the defined amendment (major, or minor).
2. Upon receipt of the proposed amendment letter, the Planning Director shall determine if the proposed amendment constitutes a major or minor amendment.
3. Upon the approval of any proposed amendment to the Planned Area Development (PAD), the amendment shall be attached to the PAD as an addendum and shall become a part thereof.

6.11.2 Major Amendments

If the Planning Director determines the proposed amendment to be a major amendment, as described below, the amendment request shall



be processed in the manner set forth by the City of Glendale Planned Area Development District Regulations with the amendment being processed under the same provisions as the original approval by the City Council.

Major Amendment Criterion

An amendment will be deemed to be Major if it involves any of the following:

- Any substantial alteration to the list of permitted uses of the Property set forth in the PAD, as deemed to be substantial by the Planning Director.
- Any increase in residential units, hotel rooms or commercial/mixed-use square footage for the Property or any increase to the 1.6 FAR defined by the *Conceptual Development Plan* and the PAD, except as otherwise allowed in the PAD. The following limits are set:
 - No more than 1,000 residential *dwelling units*
 - No more than 492,000 square feet of commercial space
 - No more than 660 *hotel rooms*
 - No more than 1,903,500 square feet of office space
- Any proposed alteration to approved *Centrada Development Standards* as defined by Sub-Sections 3 and 4 of the Development Standards Section of this PAD which modifies the purpose and intent of this PAD as determined by City of Glendale Planning Director.

6.11.3 Minor Amendments

If the proposed amendment does not meet the requirements outlined above for a major amendment, then it shall be considered a minor amendment and shall be acted upon administratively by the Planning Director. Unless otherwise required by law, those changes determined to be *minor amendments shall not require public notice or public hearings.*

Minor Amendment Criterion

An amendment will be deemed to be Minor if it involves any of the following:

- Any alteration to the PAD narrative which does not directly impact the health, safety and welfare for any adjacent property owner or of that of the general public as *determined by the Planning Director.*
- Any proposed use which is deemed to be *analogous* to the defined permitted uses, conditional uses, uses subject to performance standards or accessory uses by the Planning Director.
- Any minor alteration to the list of permitted uses of the Property set forth in the PAD, as deemed to be minor by the Planning Director.

- Any alteration to the Centrada Land Use Master Plan, the Phasing Plan or any other Master Plan which does not directly impact the health, safety and welfare of any adjacent property owner or the general public as determined by the Planning Director.

6.11.4 Administrative Amendments and Interpretations

On occasion, it may be necessary to request formal or informal interpretation from the City of Glendale Planning Director related to the implementation and/or interpretation of the PAD. These circumstances may relate to interpretation of project intent, use, development standards as may be applicable to the interpretation of the provisions of the City of Glendale Zoning Ordinance or to interpretation of intent of narrative contained in this *application*. It is anticipated that interpretation to these provisions may be made in oral or written form upon the request of the Master Developer or any member of the *Centrada Property Owners Association*.



APPENDICES

- A. Property Legal Description and Boundary Map
- B. Context Plan and Photos
- C. Glendale City Council Hearing Minutes - pending
- D. Centrada Privately Administered Design Guidelines - pending
- E. Citizen Participation Plan - pending
- F. Traffic Impact Analysis (under separate cover)
- G. Water Report (under separate cover)
- H. Wastewater Report (under separate cover)
- I. Drainage Report (under separate cover)



A. Property Legal Description and Boundary Map



April 22, 2008
Rick No. 3840A
SCB

GROSS AREA DESCRIPTION

A portion of the Northeast quarter of Section 16, Township 2 North, Range 1 East, Gila and Salt River Meridian, Maricopa County, Arizona, being more particularly described as follows:

COMMENCING at the Northeast corner of said Section 16;
THENCE South 00 degrees 14 minutes 01 seconds West, along the East line of said Northeast quarter and along the centerline of 91st Avenue, 83.79 feet to the calculated centerline of Bethany Home Road and the POINT OF BEGINNING;
THENCE continuing South 00 degrees 14 minutes 01 seconds West, along said East line of the Northeast quarter and along said centerline of 91st Avenue, 1232.83 feet;
THENCE South 84 degrees 40 minutes 24 seconds West, 69.59 feet;
THENCE South 89 degrees 24 minutes 31 seconds West, 2581.87 feet to the West line of said Northeast quarter;
THENCE North 00 degrees 26 minutes 23 seconds East, along said West line, 1232.43 feet to the aforementioned calculated centerline of Bethany Home Road;
THENCE North 89 degrees 16 minutes 27 seconds East, along said calculated centerline, 2646.79 feet to the POINT OF BEGINNING, as shown on Exhibit "A" attached herewith as page 2 of 2. Subject parcel comprising 75.117 acres, more or less, and subject to all easements of record.



Expires: 09-30-10

PAGE 1 OF 2

6150 North 16th Street • Phoenix, Arizona 85016-1705 • (602) 957-3330 • FAX: (602) 283-2396 • rickengineering.com

PHOENIX TUCSON SAN DIEGO RIVERSIDE ORANGE SACRAMENTO SAN LUIS OBISPO BAKERSFIELD



SCALE 1" = 400'

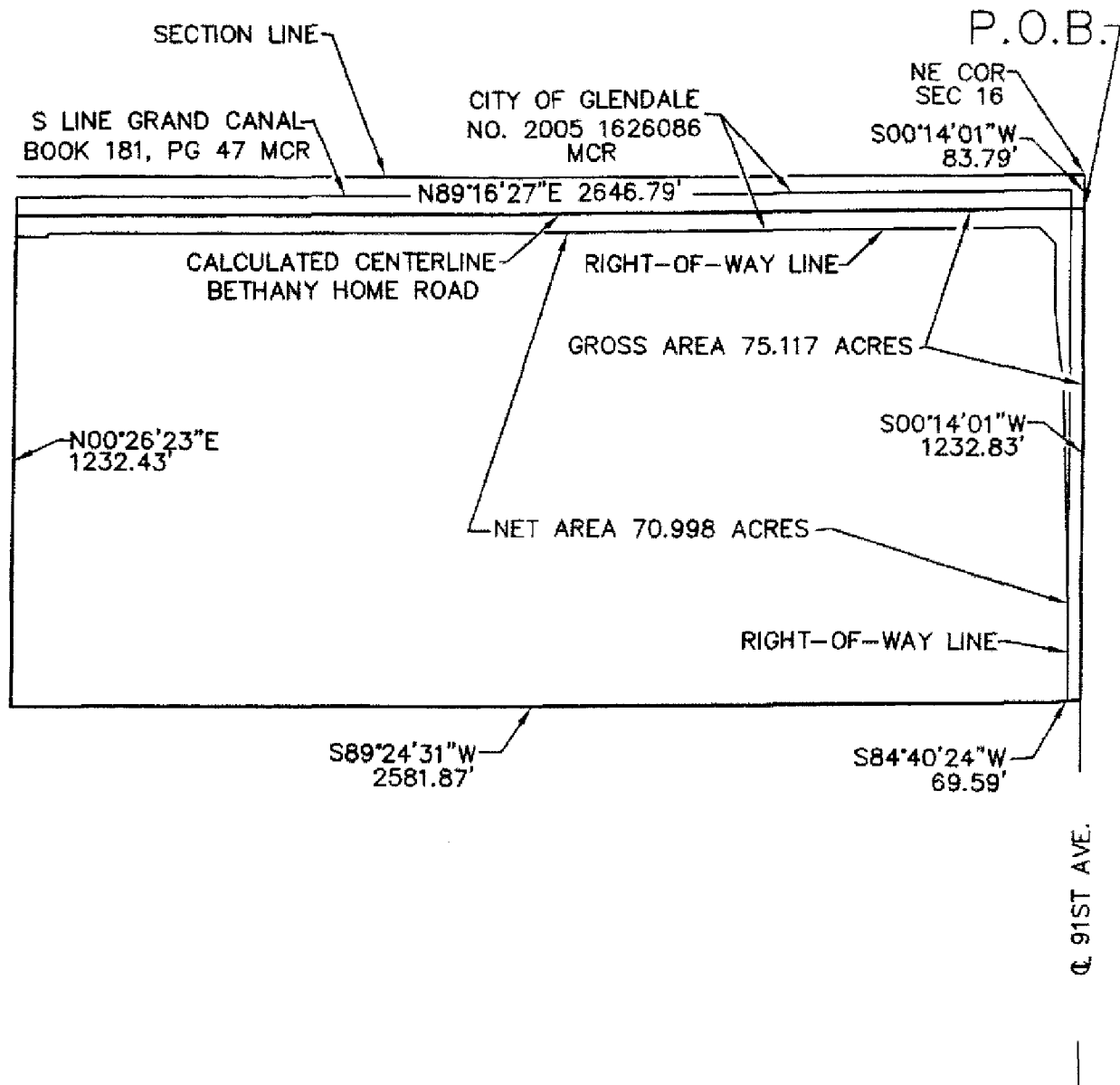


EXHIBIT "A"

PAGE 2 OF 2



B. Context Plan and Photos

Date: 11-26-07
Job No.: 0000



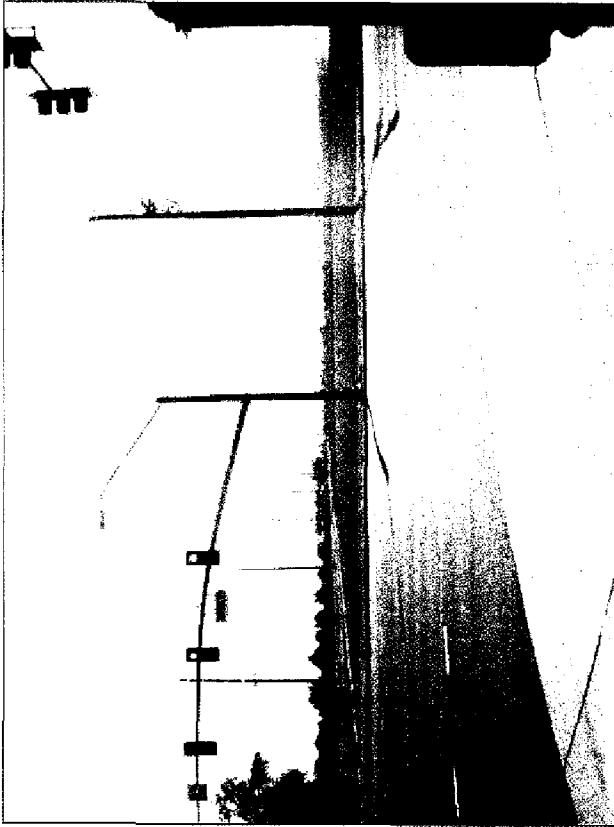


Photo 2- Looking East



Photo 4 - Looking West

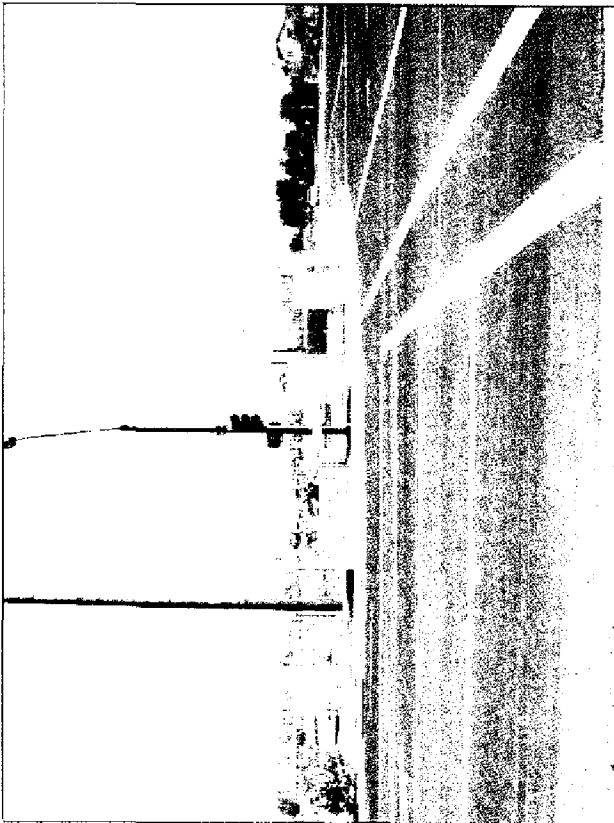


Photo 1- Looking North

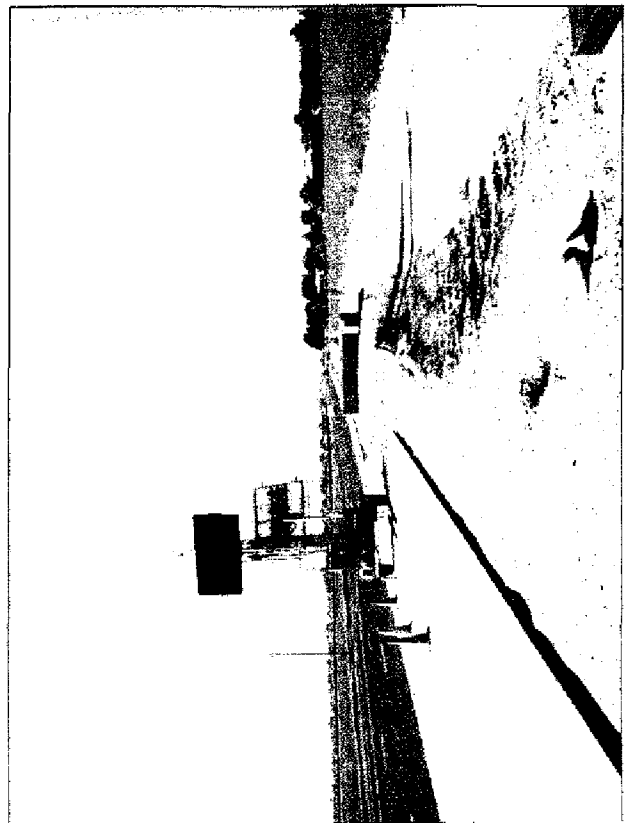


Photo 3 - Looking South

Photo Context Exhibit

Centrada (S.W.C. 91st Ave & Bethany Home Rd)
Glendale, AZ

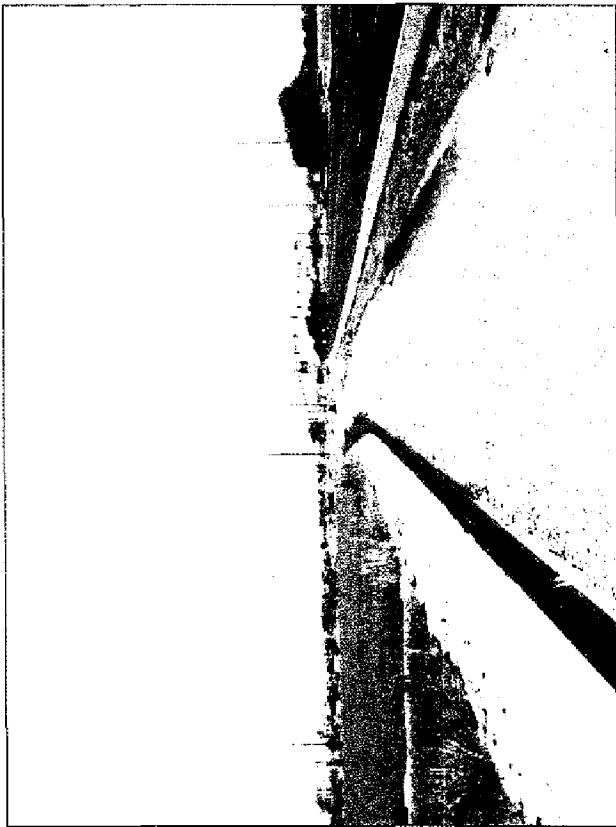


Photo 6- Looking East

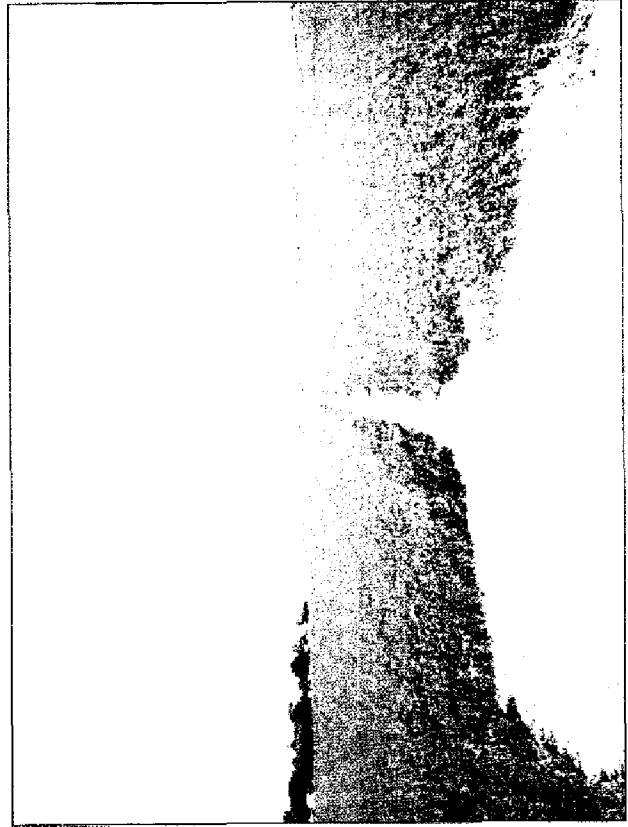


Photo 8 - Looking West

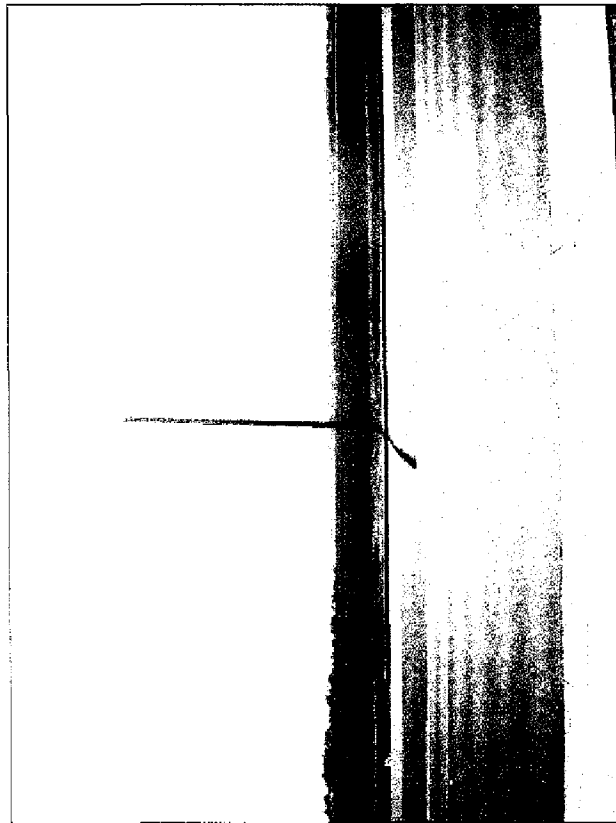


Photo 5- Looking North

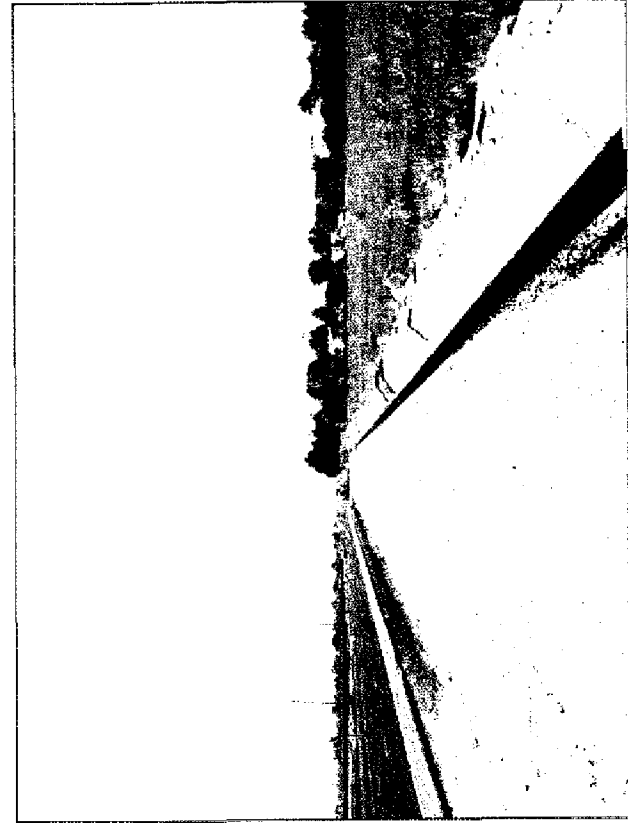


Photo 7 - Looking South

Photo Context Exhibit
 Centrada (S.W.C. 91st Ave & Bethany Home Rd)
 Glendale, AZ

LDV urban design studio
 land planning • landscape architecture
 10001 W. Camelback Road, Suite 200 • Glendale, AZ 85140

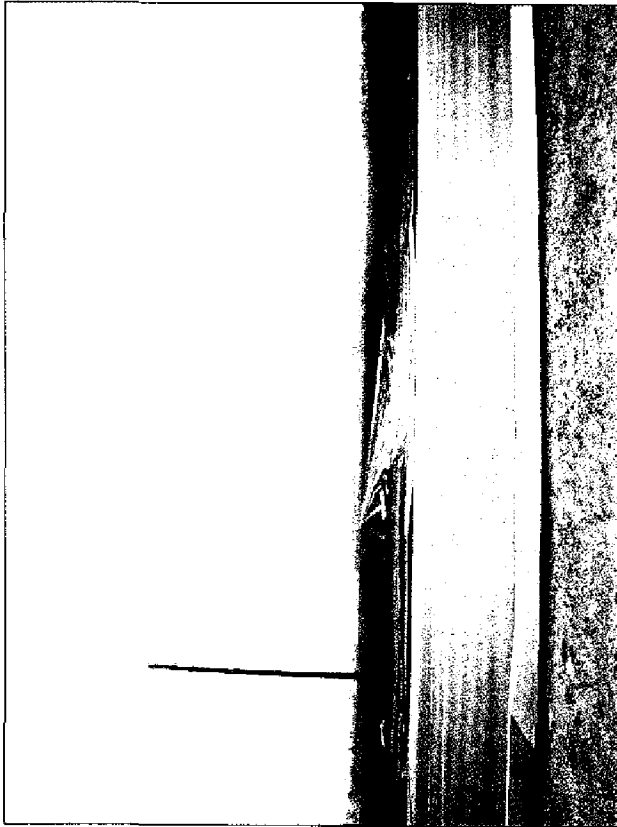


Photo 10- Looking East



Photo 12 - Looking West

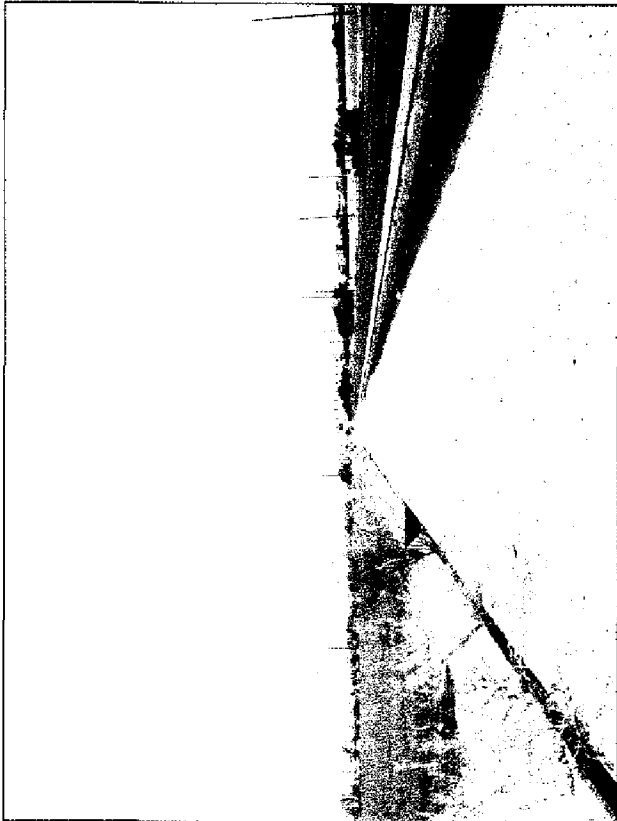


Photo 9- Looking North

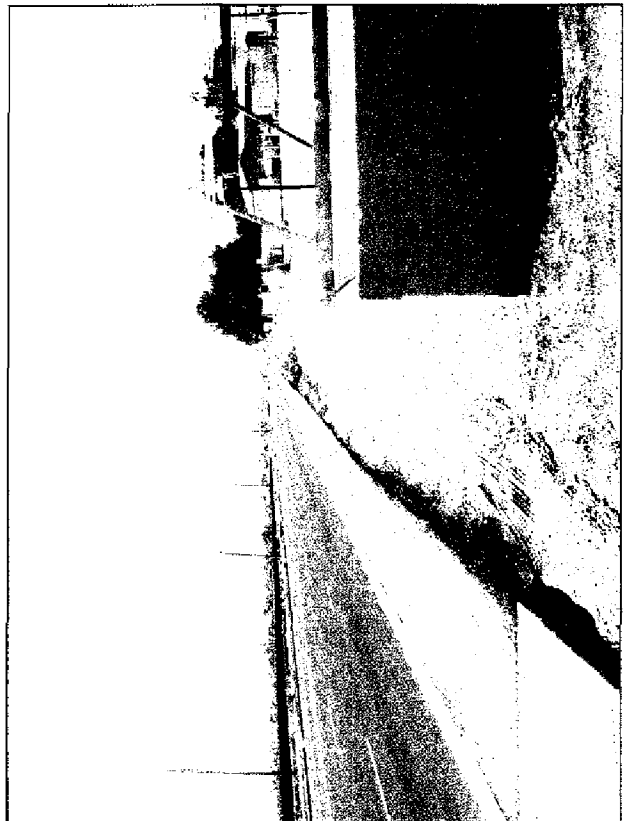


Photo 11 - Looking South

Photo Context Exhibit

Centrada (S.W.C. 91st Ave & Bethany Home Rd)
Glendale, AZ

UVA urban design studio
land planning • landscape architecture
120 south east avenue • Tempe, Arizona 85281 • phone: 480.994.1795



Photo 14- Looking East



Photo 16 - Looking West

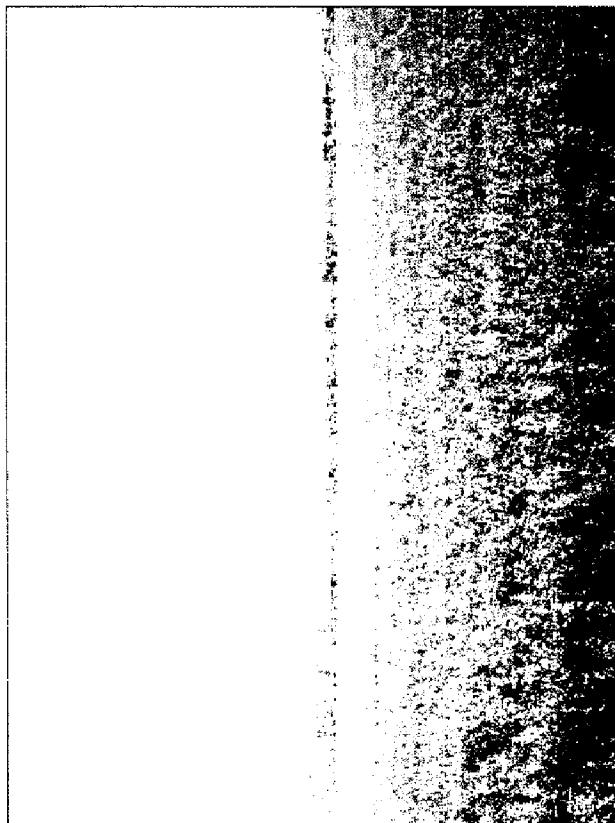


Photo 13- Looking North



Photo 15 - Looking South

Photo Context Exhibit

Centrada (S.W.C. 91st Ave & Bethany Home Rd)
Glendale, AZ

urban design studio
land planning • landscape architecture
2100 N. Central Expressway, Suite 100 • Glendale, AZ 85119

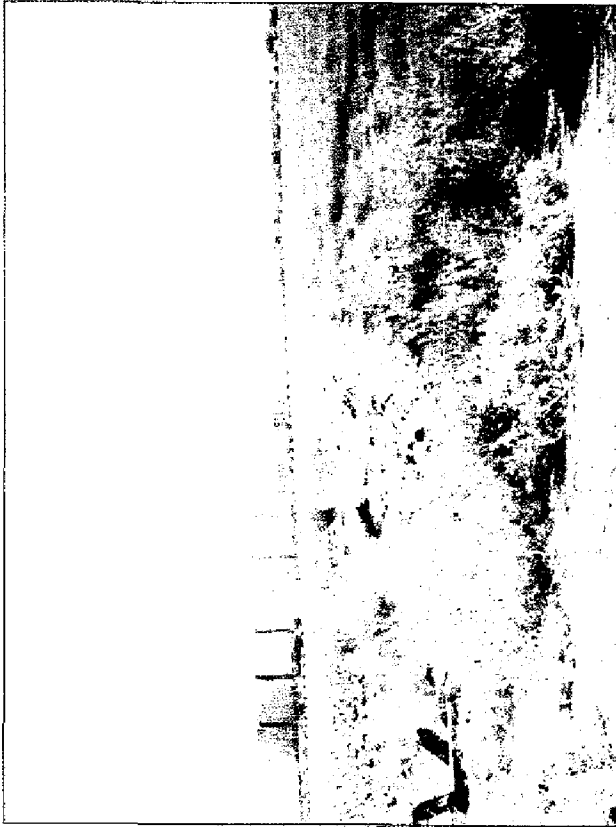


Photo 18- Looking North



Photo 20 - Looking South

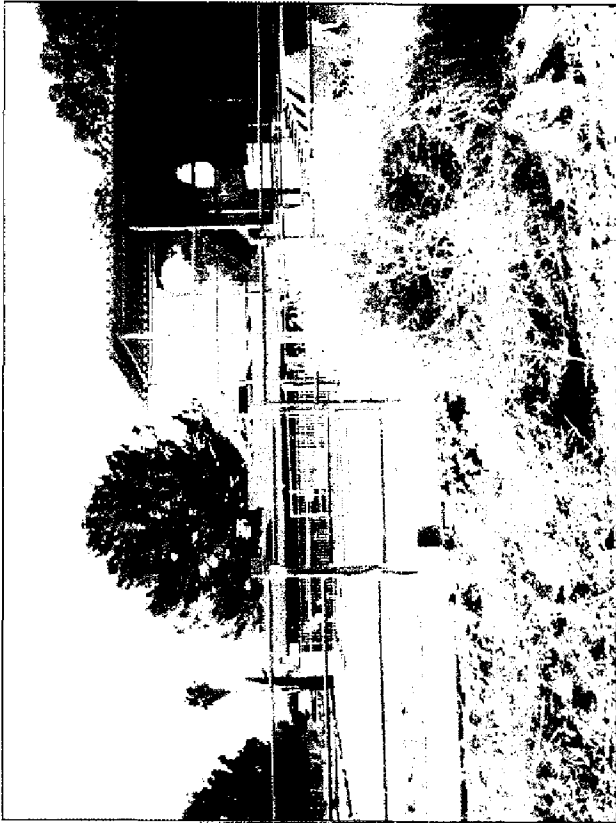


Photo 17- Looking South

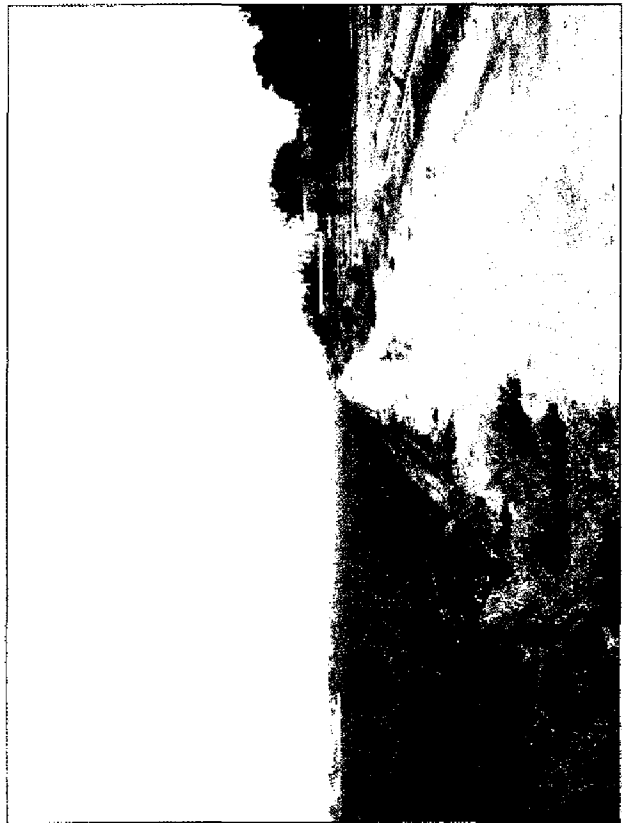


Photo 19 - Looking East

Photo Context Exhibit

Centrada (S.W.C. 91st Ave & Bethany Home Rd)
Glendale, AZ

IVA urban design studio
land planning • architecture • interior design
420 South 44th Street • Phoenix, Arizona 85018 • 602.975.1111

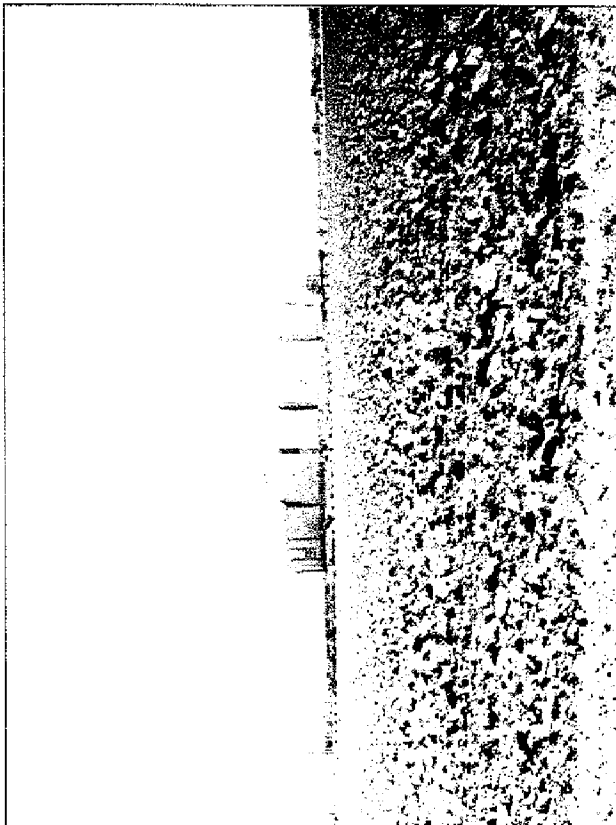


Photo 22- Looking North

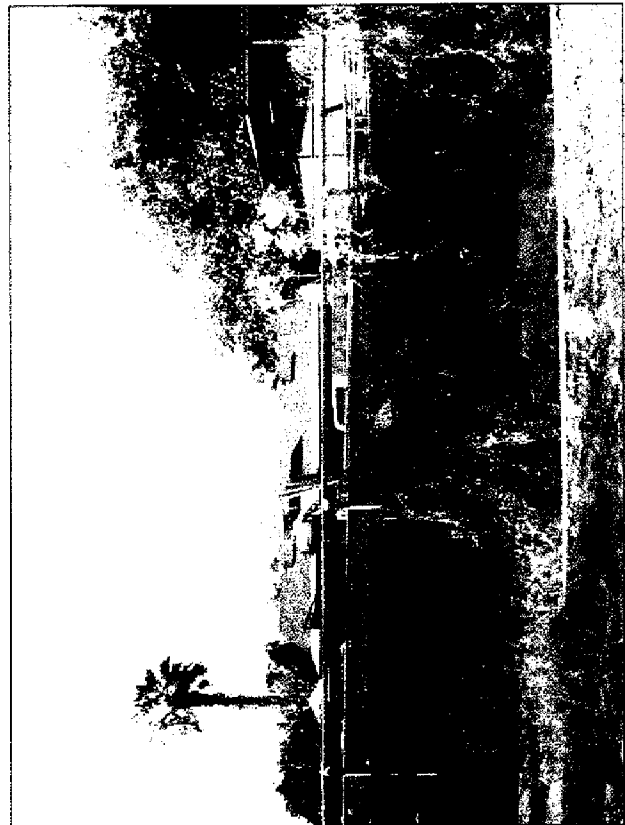


Photo 24 - Looking South



Photo 21- Looking West



Photo 23 - Looking East

Photo Context Exhibit
 Centrada (S.W.C. 91st Ave & Bethany Home Rd)
 Glendale, AZ

LVA urban design studio
 land planning • landscape architecture
 10000 W. McDowell Ave., Suite 100, Glendale, AZ 85305
 (602) 997-1100

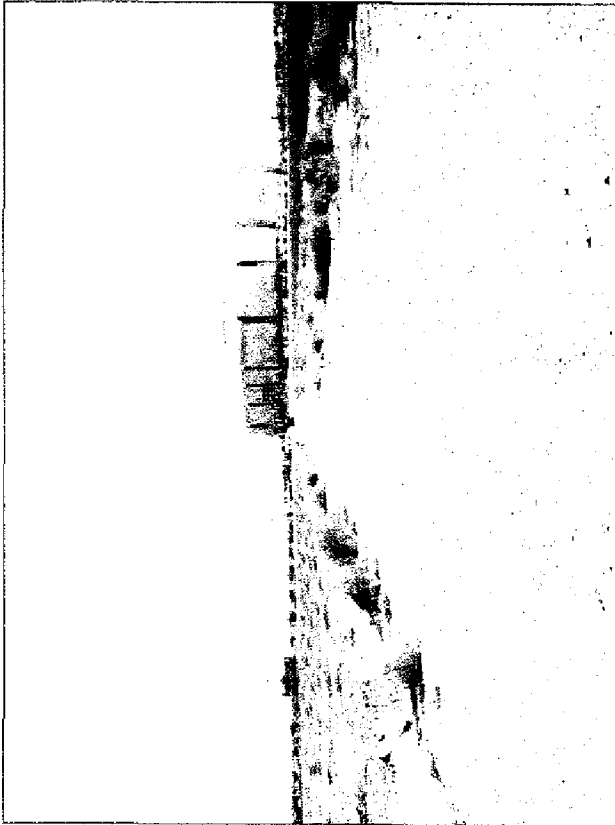


Photo 26- Looking North



Photo 28 - Looking South

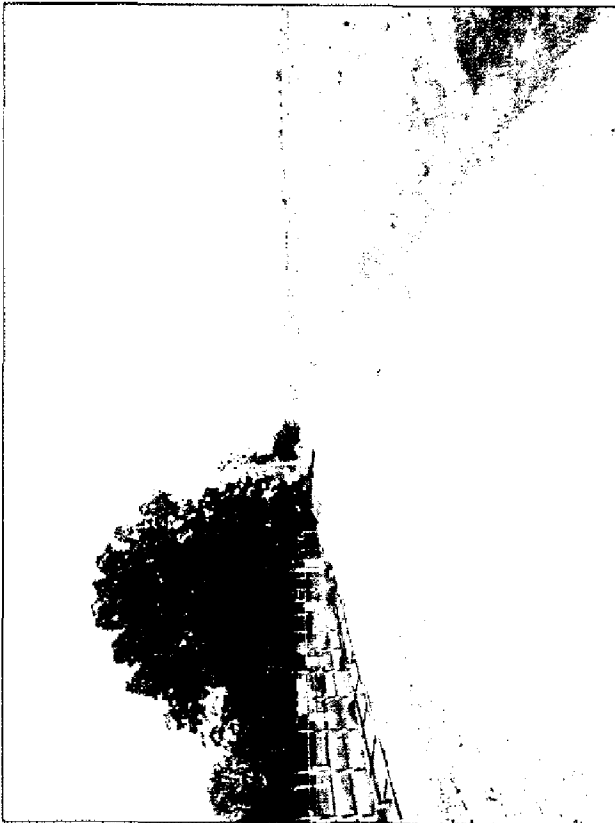


Photo 25- Looking West



Photo 27 - Looking East

Photo Context Exhibit

Centrada (S.W.C. 91st Ave & Bethany Home Rd)
Glendale, AZ

urban design studio
land planning • architecture • interior

10000 N. 19th Ave., Suite 100, Glendale, AZ 85142 • Phone: (623) 422-1111

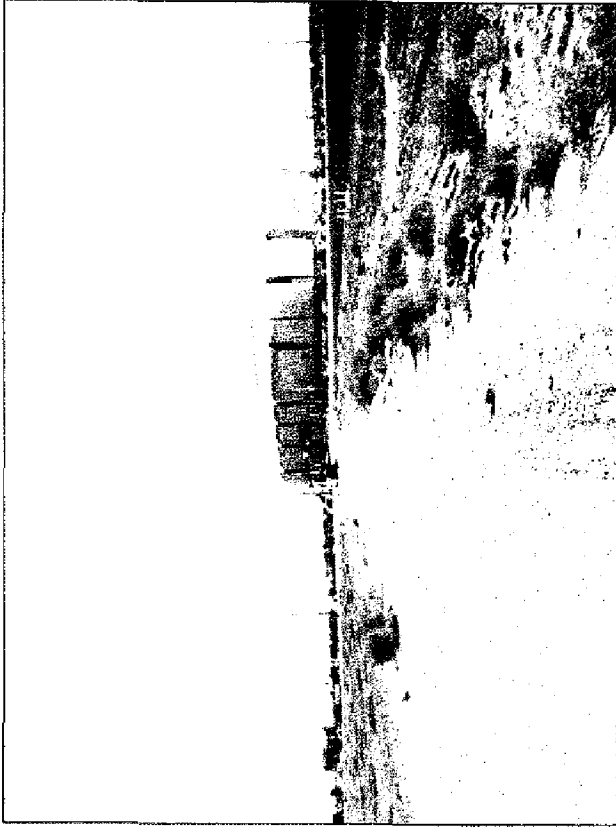


Photo 30- Looking North



Photo 32- Looking South

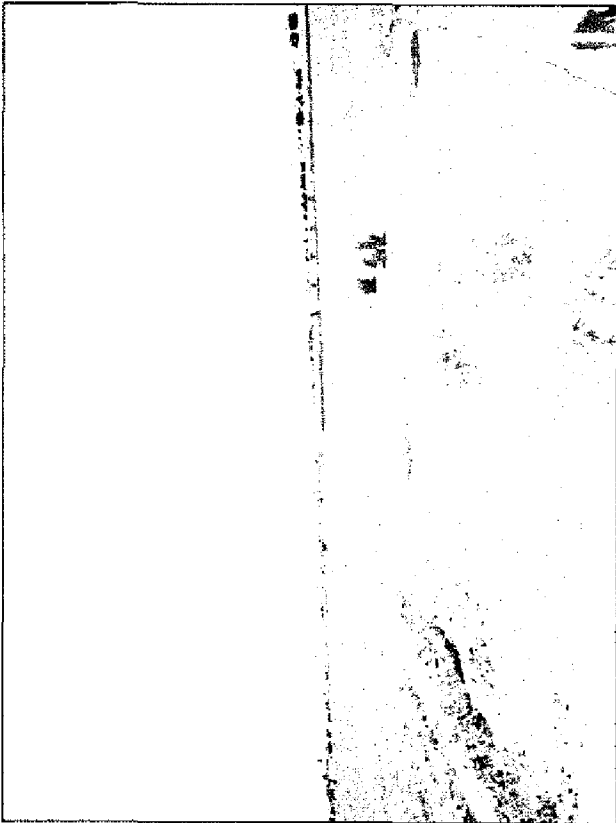


Photo 29- Looking West

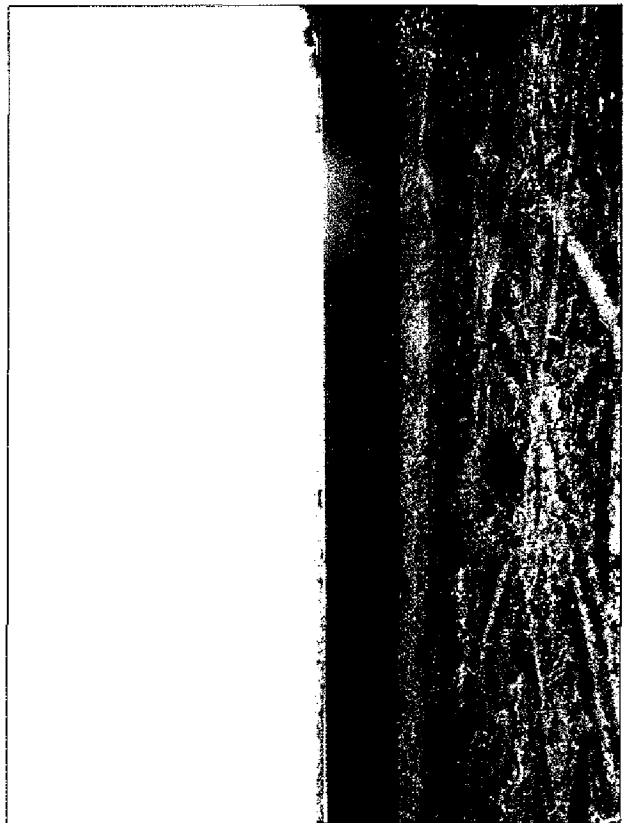


Photo 31 - Looking East

Photo Context Exhibit
 Centrada (S.W.C. 91st Ave & Bethany Home Rd)
 Glendale, AZ

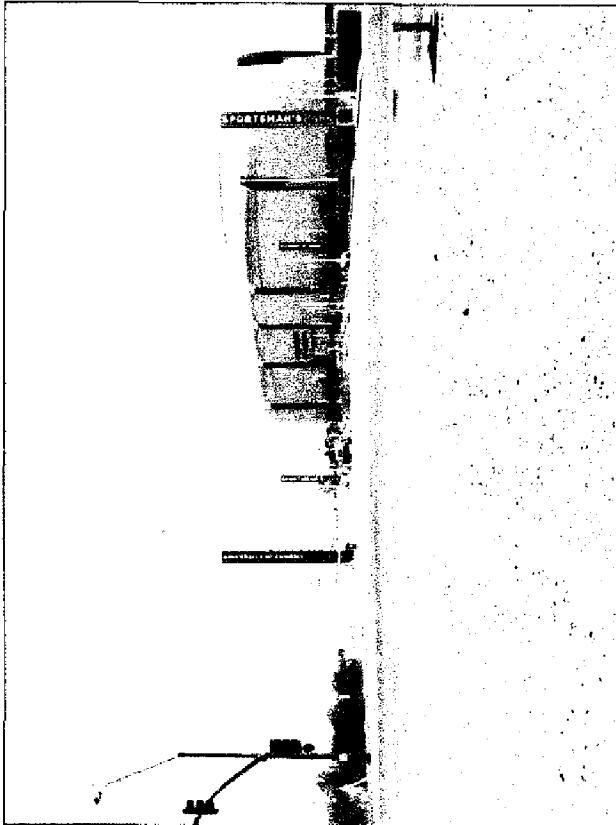


Photo 34- Looking North

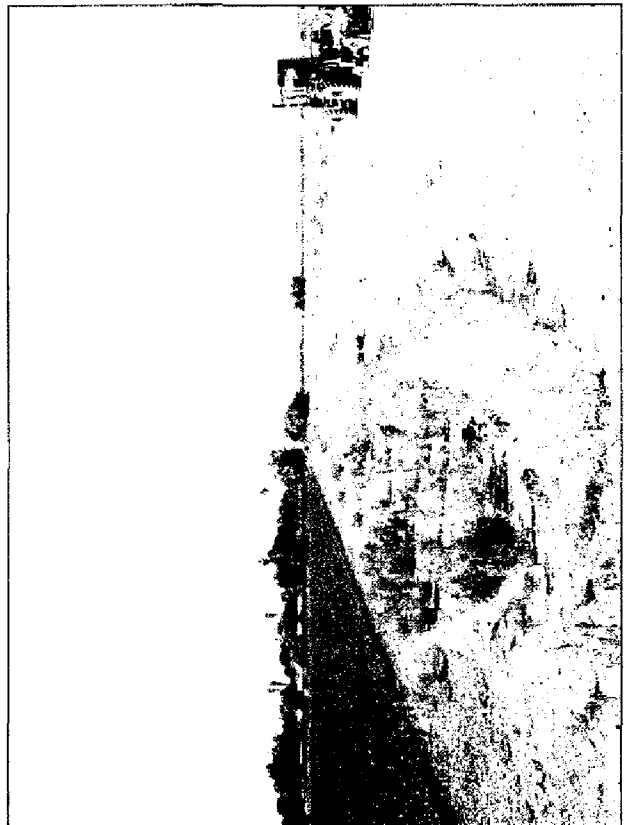


Photo 36- Looking South

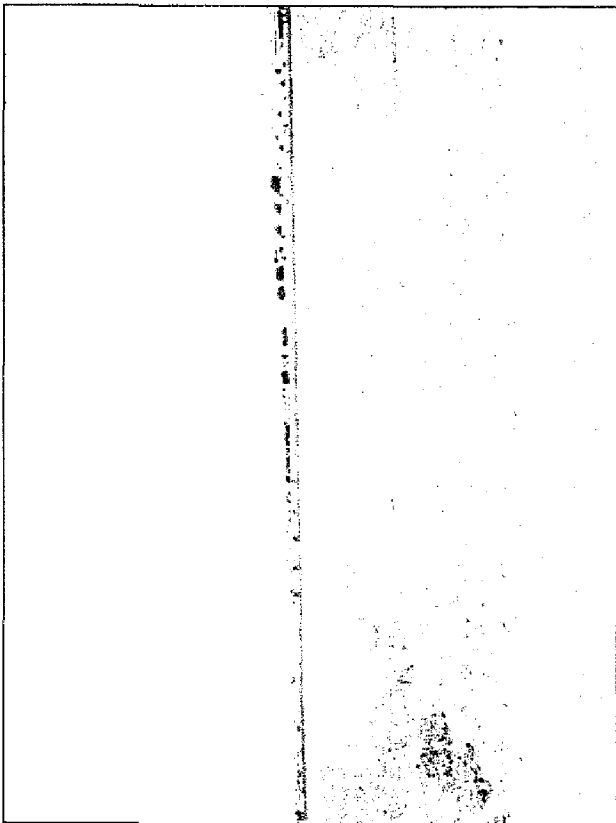


Photo 33- Looking West

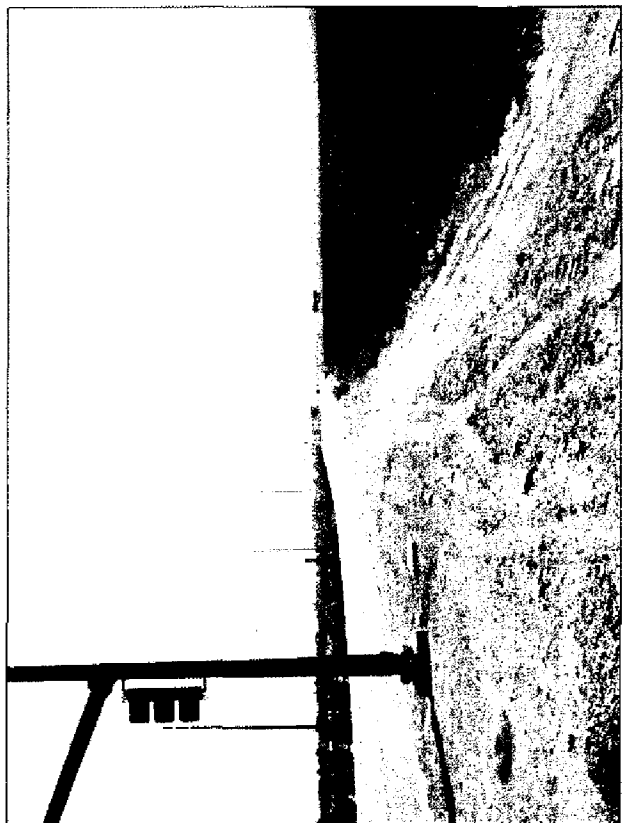


Photo 35 - Looking East

Photo Context Exhibit

Centrada (S.W.C. 91st Ave & Bethany Home Rd)
Glendale, AZ

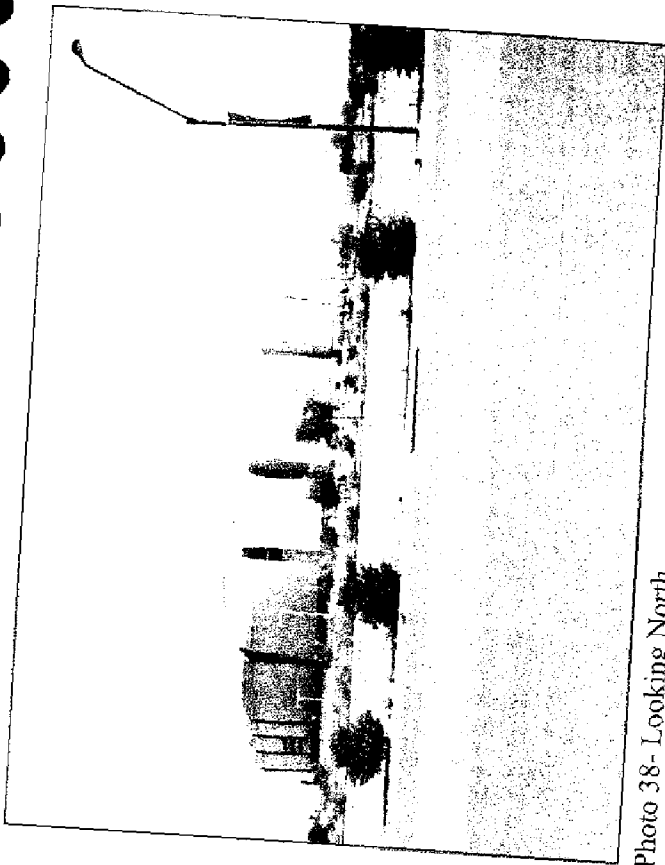


Photo 38- Looking North

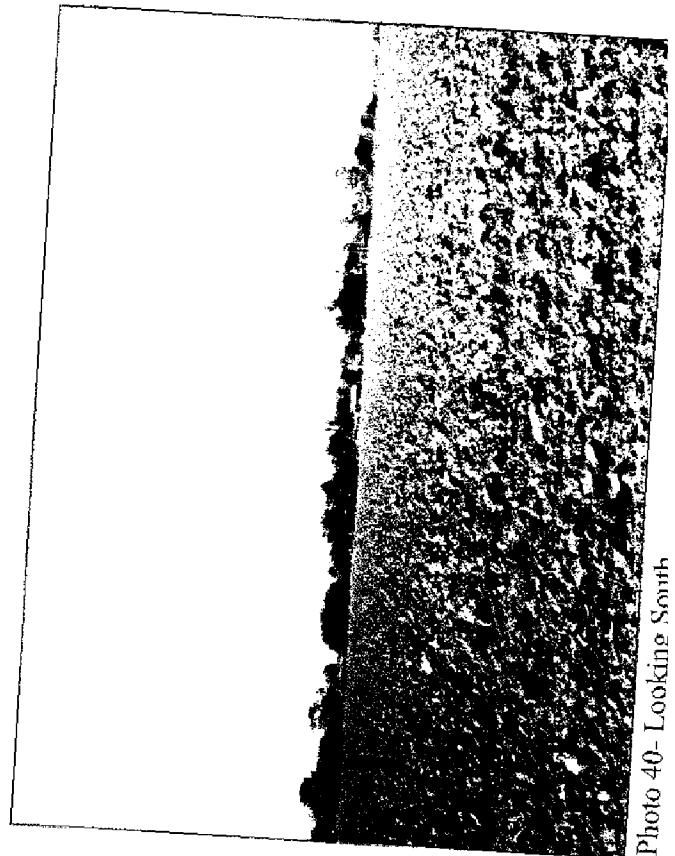


Photo 40- Looking South

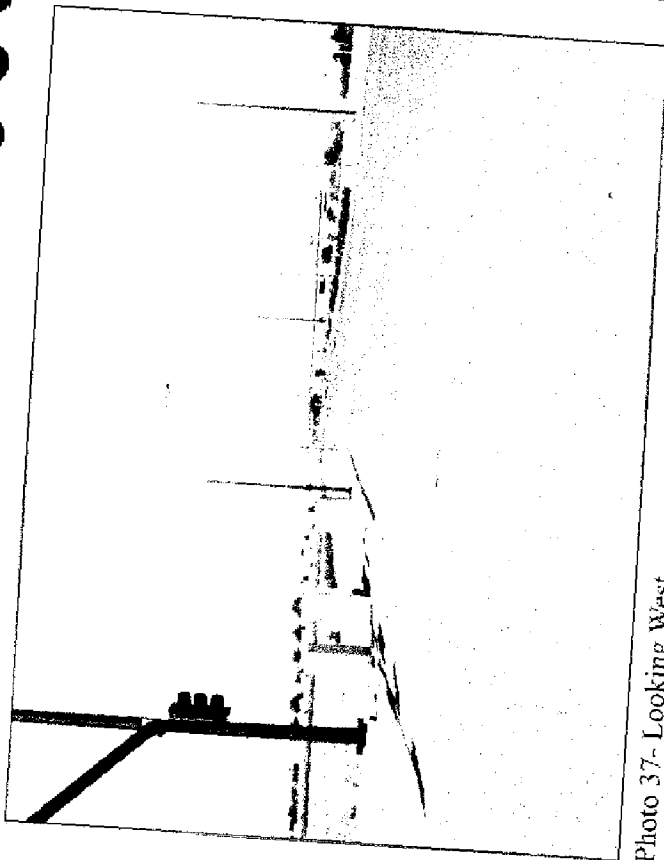


Photo 37- Looking West

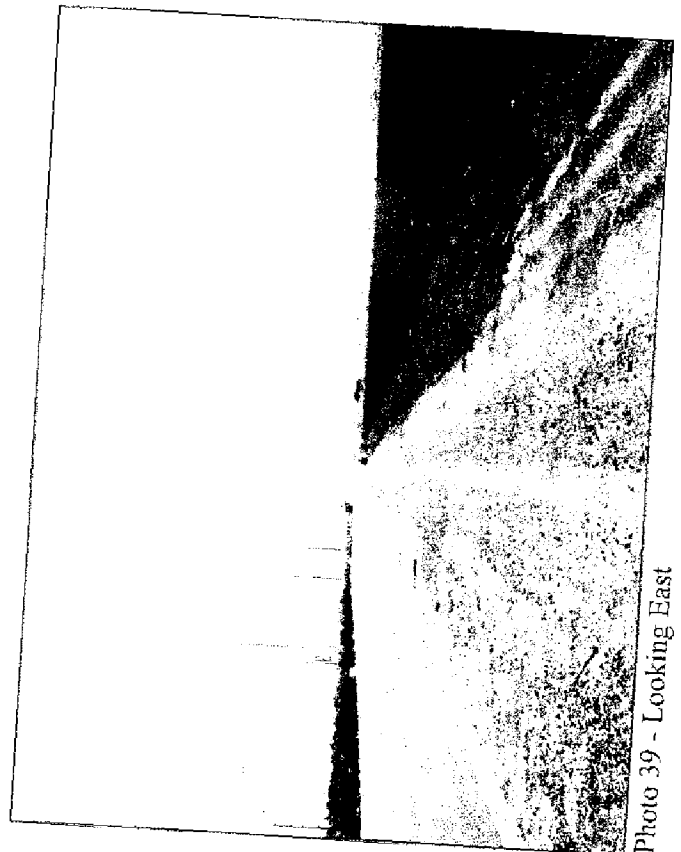


Photo 39 - Looking East

Photo Context Exhibit

Centrada (S.W.C. 91st Ave & Bethany Home Rd)
Glendale, AZ

LVA urban design studio
landscape architecture • interior architecture

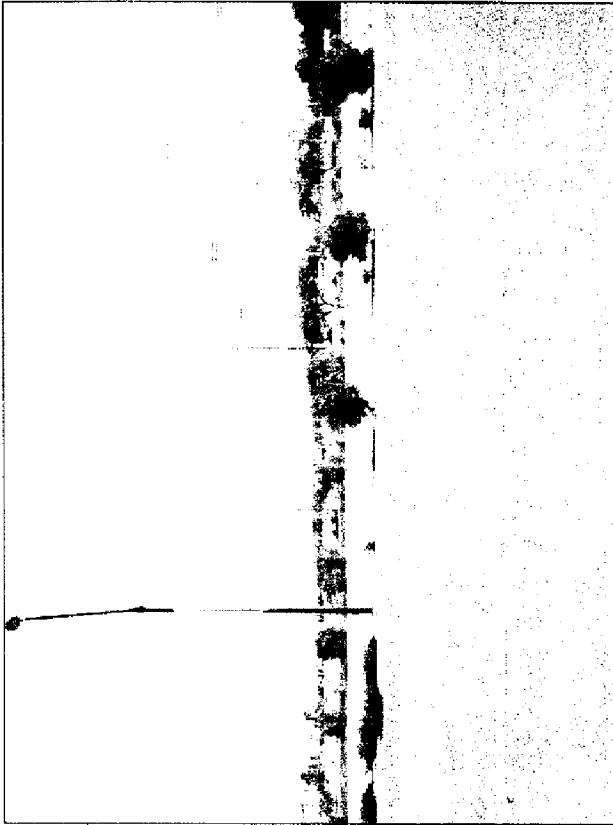


Photo 46- Looking North

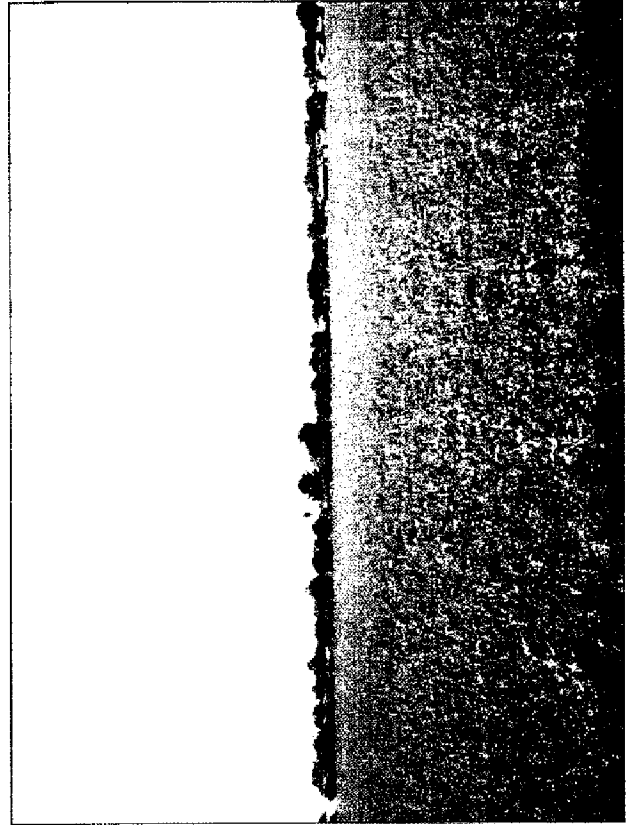


Photo 48- Looking South

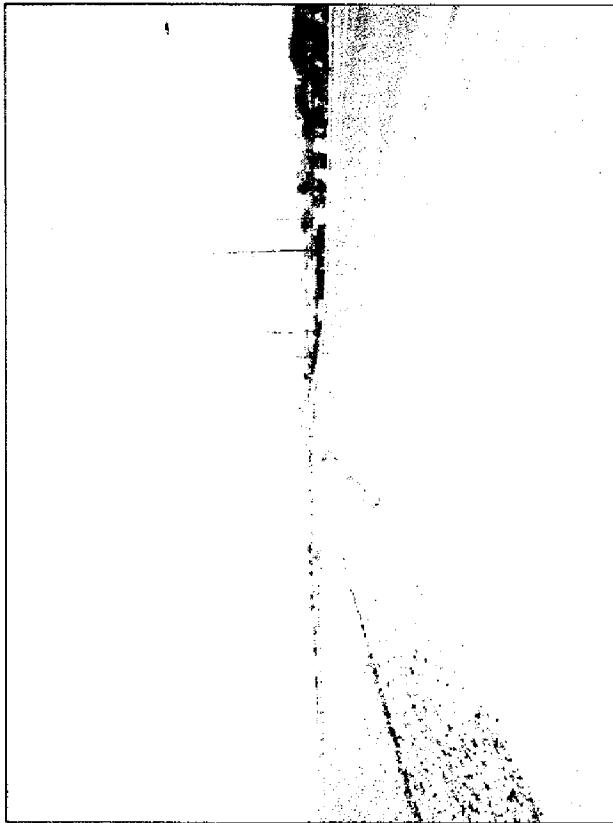


Photo 45- Looking West

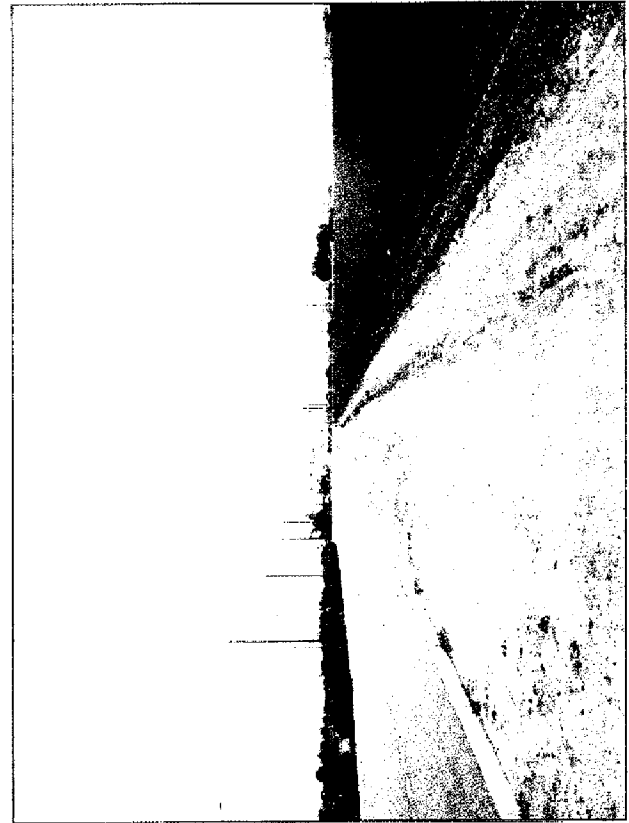


Photo 47 - Looking East

Photo Context Exhibit

Centrada (S.W.C. 91st Ave & Bethany Home Rd)
Glendale, AZ

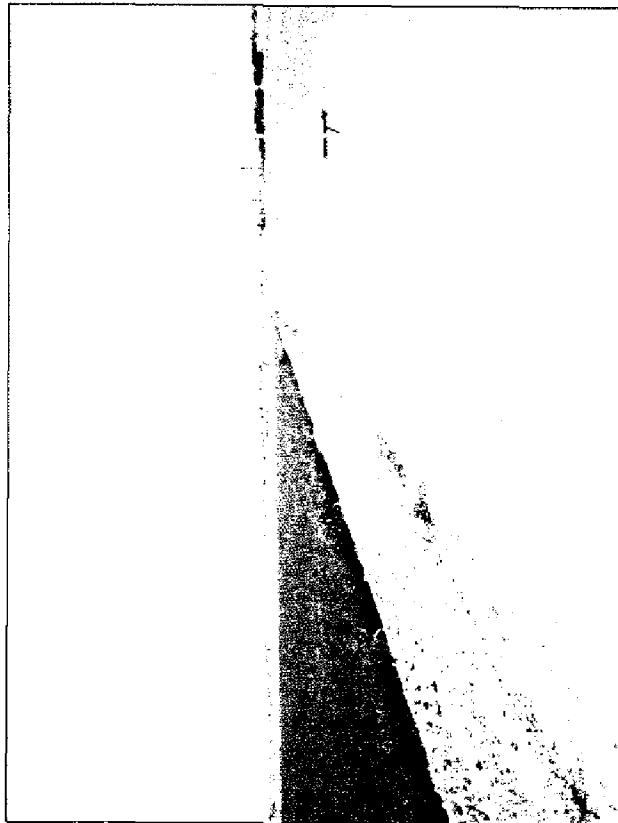


Photo 49- Looking West

Photo Context Exhibit

Centrada (S.W.C. 91st Ave & Bethany Home Rd)
Glendale, AZ

UVA urban design studio
land planning • landscape architecture

100 West 10th Street, Suite 100, Glendale, AZ 85140