

ZON13-01
May 3, 2013

COPPER COVE
9300 West Camelback Road
A Planned Residential Development

Prepared for:
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APPROVED
by CC
9-10-13

April 8, 2013 – Last Revised Date
January 10, 2013 – Submitted
ZON13-01

COPPER COVE PLANNED RESIDENTIAL DEVELOPMENT AMENDMENT



Copper Cove Planned Residential Development

Table of Contents

1.0	Introduction.....	1
2.0	General Plan Conformance	2
3.0	PRD Development Plan	2
4.0	Site Data	2
5.0	Project Design.....	3
6.0	Development Guidelines	4
7.0	Development Standards.....	4
8.0	House Products	6
9.0	Landscaping, Entry Features, and Perimeter Walls	7
10.0	SRP Irrigation.....	8
11.0	Grading and Drainage Concept.....	8
12.0	Transportation and Circulation.....	8
13.0	Public Improvements	8
14.0	PRD Required Findings	9

Exhibits

Exhibit A	Legal Description
Exhibit B	Vicinity Map
Exhibit C	Aerial Map
Exhibit D	Zoning Exhibit
Exhibit E	Conceptual Landscape Plan
Exhibit F	General Plan Land Use Map
Exhibit G1	Typical Lot Setback R1-4 PRD
Exhibit G2	Typical Lot Setback R1-10 PRD
Exhibit H	Street Cross Sections
Exhibit I	Drainage Plan
Exhibit J	Phasing Plan

COPPER COVE PLANNED RESIDENTIAL DEVELOPMENT AMENDMENT



1.0 Introduction

Copper Cove is a proposed 177 lot single family residential development on approximately 58-acres located at the northeast corner of 95th Avenue and Camelback as described in **Exhibit A**, Legal Description, and depicted on **Exhibit B**, Vicinity Map. This request is to amend the existing Planned Residential Development overlay, see **Exhibit D**, Zoning Exhibit.

The uniquely designed project is bounded by 1-acre lots to the North; Copper Canyon High School to the East; Terracita Subdivision to the South across Camelback Road; and the Agua Fria Towne Center west of 95th Avenue, and vacant land to the immediate southwest. The vacant land to the southwest is planned as commercial, with a bank existing at the immediate northeast corner of 95th Avenue and Camelback Road. This Planned Residential Development (PRD) will feature a variety of lot sizes, with decorative walls, landscaped entry features, ramadas, a tot lot and themed landscaping. The overall project is unique in that it can be identified as two separate subdivisions, a north parcel and a south parcel, that are linked together by open space and amenities. Copper Cove will have entrances off of 95th Avenue, Camelback Road and Missouri Avenue.

Table 1: Surrounding Land Use

North	Maricopa County Rural-43 zoning; Pendergast West Subdivision.
South	City of Phoenix R1-6 zoning; Terracita Subdivision.
East	City of Glendale A-1 zoning; Copper Canyon High School, R1-8 PRD east of 91 st Avenue.
West	City of Glendale CSC zoning and A-1 school site; Aqua Fria Towne Center. (PAD)
Onsite	City of Glendale R1-4 and R1-10 zones with PRD overlay

• Buffering / Integration with Surrounding Area

Copper Cove is an infill community surrounded by residential development to the North, a high school to the East, residential to the South and the Aqua Fria Towne Center and vacant land to the West. (See **Exhibit C**; Aerial Map). This community will have access to Camelback Road, 95th Avenue and Missouri Avenue. The larger lots adjacent to Missouri Estates will back onto Missouri Avenue and have a rural landscape tract between the theme wall and the street, which complements the existing condition for the lots directly to the north. The lots adjacent to 95th Avenue and Camelback Road will be buffered by enhanced landscaping within a dedicated open space tract. In addition, an 8-foot high theme wall will be provided along the back of the lots along both 95th Avenue and Camelback Road.

COPPER COVE PLANNED RESIDENTIAL DEVELOPMENT AMENDMENT



2.0 General Plan Conformance

The current General Plan classification of the project is Low Density Residential (1-2.5 DU/AC) and Medium-High Density Residential (5-8 DU/AC) (See **Exhibit F**; General Plan Land Use Map). The Project will not be deviating from these Land Use categories.

3.0 PRD Development Plan

For this site, two zoning categories exist, the R1-4 and R1-10 residential zoning categories with a PRD overlay. (See **Exhibit D**; Zoning Exhibit) The PRD covers the two separate zonings on the site; however this amendment is only to amend the development standards on the southern R1-4 parcel. The intent of the PRD is to:

- Encourage innovative planning for neighborhoods by providing greater flexibility in design standards,
- Provide a diversity of lots with varied garage orientations creating varied setbacks which avoids uniformity and diversifies the streetscape,
- Create a neighborhood that has a unique character and special identity,
- Promote the efficient use of land by enabling the development of parcels which would otherwise be difficult to develop, and
- Enhance the existing neighborhood by providing high end standards for quality homes within the new community.

4.0 Site Data

Table 2A: Copper Cove Phase 2 Land Use Table

R1-4 PRD Residential	38.64 Acres
R1-10 PRD Residential	18.05
Total Lots	177
Total Area	56.69 Acres
Total Open Space	12.28 Acres (21.27%)
Gross Density	3.07 DU/AC

Table 2B: Copper Cove Phase 2 Usable Open Space Table

LOT	LAND USAGE	AREA (SF)	AREA (AC)
TRACT A	LANDSCAPE, OPEN SPACE, RETENTION, PUE	97,898.09	2.247
TRACT D	LANDSCAPE, OPEN SPACE, RETENTION, PUE	54,848.11	1.259
TRACT H	LANDSCAPE, OPEN SPACE, RETENTION, PUE	35,907.15	0.824
TRACT L	LANDSCAPE, OPEN SPACE, RETENTION, PUE	22,259.73	0.511
TRACT M	LANDSCAPE, OPEN SPACE, RETENTION, PUE	31,161.93	0.715
TRACT N	LANDSCAPE, OPEN SPACE, RETENTION, PUE	18,044.85	0.414
TRACT Q	LANDSCAPE, OPEN SPACE, RETENTION, PUE	12,363.01	0.284
TRACT R	LANDSCAPE, OPEN SPACE, RETENTION, PUE	8,912.45	0.205
	TOTAL/PERCENTAGE	281,395.32	6.460/16.72%



COPPER COVE PLANNED RESIDENTIAL DEVELOPMENT AMENDMENT



5.0 Project Design

The Copper Cove southern parcel is a residential community including 85' x 138', 60' x 120'/112.5' and 58'/53'/52'/50' x 115' lots, with shared amenities throughout. The project is designed to utilize the site as efficiently as possible given its shape and the access constraints. The use of cul-de-sacs reduces the amount of traffic traveling in front of the homes as well as creates a smaller and quieter neighborhood feel.

The northern parcel and southern parcel will not be connected by an internal road to eliminate cut-thru traffic. A pedestrian trail will instead connect the two parcels and open space amenities. The northern parcel with larger lot sizes will provide transition between the varying intensities to the north and south as well as the surrounding communities. Open Space amenities will include but are not limited to; tot lots, ramadas, a volley ball court, pedestrian trails and turf areas.

The northern portion of Copper Cove was previously platted with 36 larger lots and a large park space on the southwestern corner of the property, which will remain unchanged. Residents of the northern parcel will access their community off of Missouri Avenue, closer to 91st Avenue, to reduce the amount of traffic which passes in front of the Pendergast West Community.

The southern portion of Copper Cove is comprised of 141 lots which will offer a high quality of living for persons desiring single family detached homes within a small upscale neighborhood environment. Careful attention has been made to design a development that promotes variety with a distinct sense of community.

Access for the southern parcel is served by entrances off of 95th Avenue to the west and Camelback Road to the south. The primary entrances will have entry features with monummentation and enhanced landscaping.

Copper Cove will feature lush desert landscaping with elegant wall design and entry monummentation. Materials used will complement the surrounding rural neighborhoods to the north while adding its own distinct signature. All plant material throughout the project will be chosen for their qualities of lushness and color capabilities.

- **Development Schedule**

Copper Cove will be developed in three separate phases, the northern parcel will be developed as phase one and the southern parcel will be developed in phases two and three. Each phase will be dependent on and driven by market conditions (See **Exhibit J**; Phasing Plan).

COPPER COVE PLANNED RESIDENTIAL DEVELOPMENT AMENDMENT



6.0 Development Guidelines

Copper Cove will be developing under the existing R1-4 and R1-10 residential zoning districts, with a PRD overlay. Copper Cove has met the intent of the City's guidelines where applicable considering the unique constraints for this 58-acre site. The constraints include the shape of the parcel, the two different residential general plan designations, the existing uses on all four sides, Missouri Avenue not connecting to 95th Avenue, the limited frontage on Camelback Road, and planning the site to make sure abutting exception parcels are accommodated.

Copper Cove, through its design, has accomplished all of the engineering, land use and design expectations of the surrounding community, and required by the city, to make this project a wonderful community for future homeowners and pleasing to existing neighbors.

Coordination has occurred with the design team and staff on developing the five basic design elements for the community: Open Space and Amenities, Perimeter Improvements, Streets, Lot Layout and Setbacks, and Lot Size. The requirements as outlined in the Residential Design and Development Manual have been met.

7.0 Development Standards

Copper Cove has a proposed total of 177 lots. The development standards established for this project have been carefully considered to allow for flexibility within this unique neighborhood. This PRD Amendment will create the opportunity for variations to the minimum standards. See the Typical Lot Details in **Exhibits G1 and G2**; Typical Lot Setbacks.

Table 3: R1-4 and R1-10 PRD Site Data Table

R1-10 PRD Parcel

Gross Area		18.05 acres
Open Space	Landscaping & Retention	4.60 acres (25.49%)
36 Lots	85' x 138' Residential	10.15 acres
Avg. Lot Size		12,278 sf
Min. Lot Width		85 feet
Avg. Lot Width		85 feet
Gross Density		1.99 DU/AC

COPPER COVE PLANNED RESIDENTIAL DEVELOPMENT AMENDMENT



R1-4 PRD Parcel

Gross Area	38.64 acres
Open Space	Landscaping & Retention 7.48 acres (19.36%)
141 Lots	60 x 120; 60 x 112.5; 58' & 53' & 52' & 50' x 115' Residential 21.96 acres
Avg. Lot Size	6,784 sf
Min. Lot Width	50 feet
Avg. Lot Width	58 feet
Gross Density	3.65 DU/ AC
Total Open Space	12.28 acres (21.27%)
Project Total	57.71 acres

Table 4: R1-4 and R1-10 PRD Comparison Table

	Existing R1-4 PRD District Standards	Proposed R1-4 PRD Standards	Existing R1-10 PRD Standards (to remain)
Minimum Net Lot Area	4,200 sf	5,625 sf	11,475 sf
Minimum Lot Width	42' / 52'	50'	85'
Minimum Lot Depth	90'	112.5'	135'
Minimum Front Setback (measured from property line)	10' to living area or side entry garage, 20' to front loaded garage, measured from property line to face of garage	10' to living area or side entry garage, 20' to front loaded garage, measured from property line to face of garage	15' to living area or side entry garage, 20' to front loaded garage
Minimum Rear Setback	10'	15'	25'
Minimum Side Setback	5' and 5'	5' (10' combined)	5' (20' combined)
Minimum Street Sideyard Setback	5' (with 10' side tract)	5' (with 10' side tract)	5' (with 10' side tract)
Maximum Structure Height	30'	30'	30'
Maximum Percentage Lot Coverage	55%	50%	45%
Minimum distance between building on adjacent lots	10'	10'	20'

***Encroachments:** Fireplaces, bay windows, eaves, media niches, and basement window casings may encroach into the side setback a maximum of 2-1/2 feet for a total length not to exceed 10 feet on any building elevations.



COPPER COVE PLANNED RESIDENTIAL DEVELOPMENT AMENDMENT



8.0 House Products

The R1-4 PRD lots will offer a minimum of six floor plans and three different elevations for each floor plan to its residents. All materials, colors and styles will comply with the theme of the overall development. All main exterior colors will be variations of earth tones. A separate application for design review of the house product will be submitted.

The homes within this subdivision offer a tremendous amount of flexibility between lifestyles. The ease of maintenance and common amenities for the R1-4 PRD lots accommodate the needs of empty nesters, young professionals and seasonal residents. Useable yard space that is efficiently designed provides outdoor privacy areas. The detached nature of the lots eliminates noise transfer and other nuisances that occur between attached units and the variation in massing offers an enhanced level of differentiation between homes.

The proposed floor plans in the R1-4 PRD portion of the development will vary in size from 1,800 square feet up to 4,000 square feet. At least three distinct elevation variations will be offered with additional exterior options available for homebuyers to further diversify their home. The larger lots will offer a minimum of six floor plans and vary in size from 2,300 square feet up to 4,000 square feet, with three different elevations for each floor plan. Each of the floor plans can be easily altered based on buyer's preferences to allow homebuyers to customize floor plans to fit their specific needs.

Both products provide for variation in massing by dramatically changing orientation of the living areas and garages. The garage orientation varies between a side-entry and recessed on alternating lots. This large amount of variation assures a varied streetscape that is not dominated by garage doors. If any other product is offered, it will meet the guidelines as outlined below.

Each home shall include the following:

1. Stucco exterior with accents
2. Covered rear patio integrated into the design of the home
3. Ground mounted AC Units
4. Three color variations of a concrete tile roof
5. Stucco accents and window treatments on all windows and entries
6. Two-car garage with standard coach lighting
7. Window frames will be vinyl with low-e windows
8. Roof vents painted to match tile roof color
9. Exterior light fixtures at front entrance
10. Variations of sectional metal roll-up garage door with raised paneling
11. Front yard landscape packages on southern parcel
12. 8-foot, 9-foot and 10-foot high ceilings
13. Structures prewire packages for cable, internet, and telephone
14. Energy-star Efficiency



COPPER COVE PLANNED RESIDENTIAL DEVELOPMENT AMENDMENT



9.0 Landscaping, Entry Features, and Perimeter Walls

The Project has been designed to provide future residents an inviting and pedestrian friendly community through thoughtful landscaping and amenity design. Throughout the process lot configurations have been removed or revised and the layout redrawn to create a continual open space tract from the south end of the community to the north end as well as provide further landscaped buffering for the residents to the north within Pendergast Estates. To maximize the pedestrian friendly continuous open space corridor, a 6' stabilized trail system will connect all the amenities to allow exercise and pedestrian travel between them.

Amenities that may be provided within the main open space areas include a neighborhood park, a tot lot, a volley ball court, and a group ramada area. Total open space for the Project now accounts for over 21% of the site, 12.28-acres. A Conceptual Landscape Plan is provided as **Exhibit E**.

The landscape concept for Copper Cove utilizes a plant palette indigenous to the area and will be complementary to the proposed architectural theme. Drought resistant plans and trees will be the predominant materials used in the overall landscape design with colorful accent materials incorporated in the open spaces. Streetscape standards along Camelback Road, Missouri Street and 95th Avenue will include plant materials compatible with the City's street landscape program.

Subdivision identification signs will be provided at the entrances off of Camelback Road and 95th Avenue and Missouri Avenue. The entrances on Camelback Road, 95th Avenue and Missouri Avenue will have entry monumentation.

Theme perimeter wall design on Camelback Road and 95th Avenue will be simple and reflect the patterns and forms of the entry features. A combination of split-face and smooth-face block will create a unique pattern with columns that will help set apart the subdivision and complement the entry feature. All walls will be painted, stained, or treated with a protective finish to allow for easy graffiti removal.

- **Landscape Maintenance Responsibilities**

The Covenant Conditions and Restrictions (CC&R's) for Copper Cove will identify that the Copper Cove Homeowners Association (HOA) will own and maintain the entry feature, retention areas, amenities, landscaping within all open space tracts and decorative perimeter walls. The CC&R's will restrict the use of the single-family lots to use the uses permitted by the City of Glendale's Zoning Ordinance and the Copper Cove PRD narrative as approved by the Glendale City Council.



COPPER COVE PLANNED RESIDENTIAL DEVELOPMENT AMENDMENT



10.0 SRP Irrigation

An SRP Irrigation ditch runs east to west along the north side of the subdivision on the south side of Missouri Avenue and an SRP trail water ditch runs north to south along the western boundary of the east side of the 95th Avenue. Missouri Avenue improvements will require portions of the existing ditch to be tiled by the developer and in accordance with SRP standards. As the site is developed, the SRP easement and lines will be outside of Glendale right-of-way.

11.0 Grading and Drainage Concept

The project generally slopes to the Southwest. No off-site flows impact the site. The project will be designed to retain the 100-year 2-hour storm of on-site runoff. Three main open space/ landscape tracts will be depressed to retain these on-site flows. There are two ultimate outfall locations for this site. Excess water from the retaining basins will flow either to 95th Avenue or to Camelback Road. Typical street cross sections and the conceptual grading and drainage plan for the project are included in **Exhibit I; Drainage Plan**.

12.0 Transportation and Circulation

Regional transportation is provided by Agua Fria Freeway (Loop 101) that runs north-south approximately ½ mile west to the subject site.

The southern parcel has excellent off-site transportation corridor access with Camelback Road as its southern boundary and 95th Avenue on its western boundary. Half street improvements will be made for both 95th Avenue and Camelback Road adjacent to the Copper Cove Site.

The interior street pattern has been designed to limit the number of homes a person has to pass before getting to a subdivision exit while taking advantage of the efficient use of cul-de-sacs because of the unique shape of the property. Typical streets within the Project will include 50 feet of right-of-way with detached sidewalks. Entrances into Copper Cove will include 60 feet of right-of-way and two of the three will have medians, also with detached sidewalks, as shown on **Exhibit H, Street Cross Sections**.

13.0 Public Improvements

The City of Glendale has an existing 48" sewer main in Camelback Road and a 36" main in 95th Avenue. Additional 8" sewer lines will be constructed within the interior streets that will properly service the proposed development to meet the domestic demands.

The City of Glendale has an existing 8" water line in Camelback Road and 12" water lines in 95th Avenue and Missouri Avenue. Additional 8" water lines will be constructed within the interior streets that will properly service the proposed



COPPER COVE PLANNED RESIDENTIAL DEVELOPMENT AMENDMENT



development to meet the domestic demands. The interior system will be looped through the proposed subdivision and tie into the existing surrounding system.

All utilities will be under ground in accordance with the City of Glendale Ordinance.

14.0 PRD Required Findings

The proposal is consistent in substance and location with the development objectives of the General Plan and any adopted specific area plans.

Copper Cove is in conformance with the 2025 Glendale General Plan. The Project meets the current General Plan designation for the site consisting of Low-Density Residential on the north and Medium-High Density Residential and Parks and Open Space to the south. The 2025 General Plan designates a park/ open space site originally planned for a public park. The developer is providing a community with a neighborhood park area for active and passive recreation activities. Therefore the development is still meeting the General Plan by providing a 5-acre park for recreational open space within the overall community

The proposal will be compatible with other existing and planned development in the area.

Copper Cove is consistent with the neighboring communities and PRD's within Glendale. The change in intensity from the north to the south was a direct result of ensuring compatibility with the larger residential community to the north and the more intense development to the south.

The proposal meets or exceeds the City's Subdivision Design Expectations regarding site planning, architecture, landscaping, building materials and colors, and screening of mechanical equipment.

The Project meets the intent of the Residential Design and Development Manual in providing a higher standard of subdivision design through quality, marketable, and sustainable development. Every effort has been made to comply with the recommended design guidelines within the context of this project

The proposal will result in a quality living environment and accommodate desired lifestyles.



COPPER COVE PLANNED RESIDENTIAL DEVELOPMENT AMENDMENT



The PRD allows for a high quality of living for persons desiring single-family detached homes within a community which offers a variety of lot sizes, floor plan styles and elevations. Copper Cove provides ample amenities and open space opportunities for its residents.

The proposed project amenities including equestrian and pedestrian trails, bike paths, landscaped areas, entry features, decorative theme walls, parks, playgrounds, and other public or commonly owned open space and recreation facilities are adequate and appropriate for this development.

Amenities within this Project are dispersed throughout the development to provide the residents with recreational amenities as efficiently as possible. Amenities include but are not limited to: tot lots, ramadas, a volleyball court, pedestrian trails and turf areas, along with entry features and decorative theme walls.

The type and quality of house products will be consistent with the intended character of the development.

The Project has provided a minimum of fourteen product guidelines to ensure consistent quality and design of the housing products as development occurs.

EXHIBIT A
LEGAL DESCRIPTION

DECEMBER 20, 2012
PROJECT # 9700-01-001

**LEGAL DESCRIPTION
COPPER COVE
BOUNDARY**

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARICOPA, STATE OF ARIZONA, AND IS DESCRIBED AS FOLLOWS:

PARCEL NO. 1

LOTS 1 THROUGH 36 (INCLUSIVE) AND TRACT A THROUGH G (INCLUSIVE), OF COPPER COVER PHASE 1, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 988 OF MAPS, PAGE 23 AND THEREAFTER AFFIDAVIT OF CORRECTION RECORDED AS 2008-056518 OF OFFICIAL RECORDS.

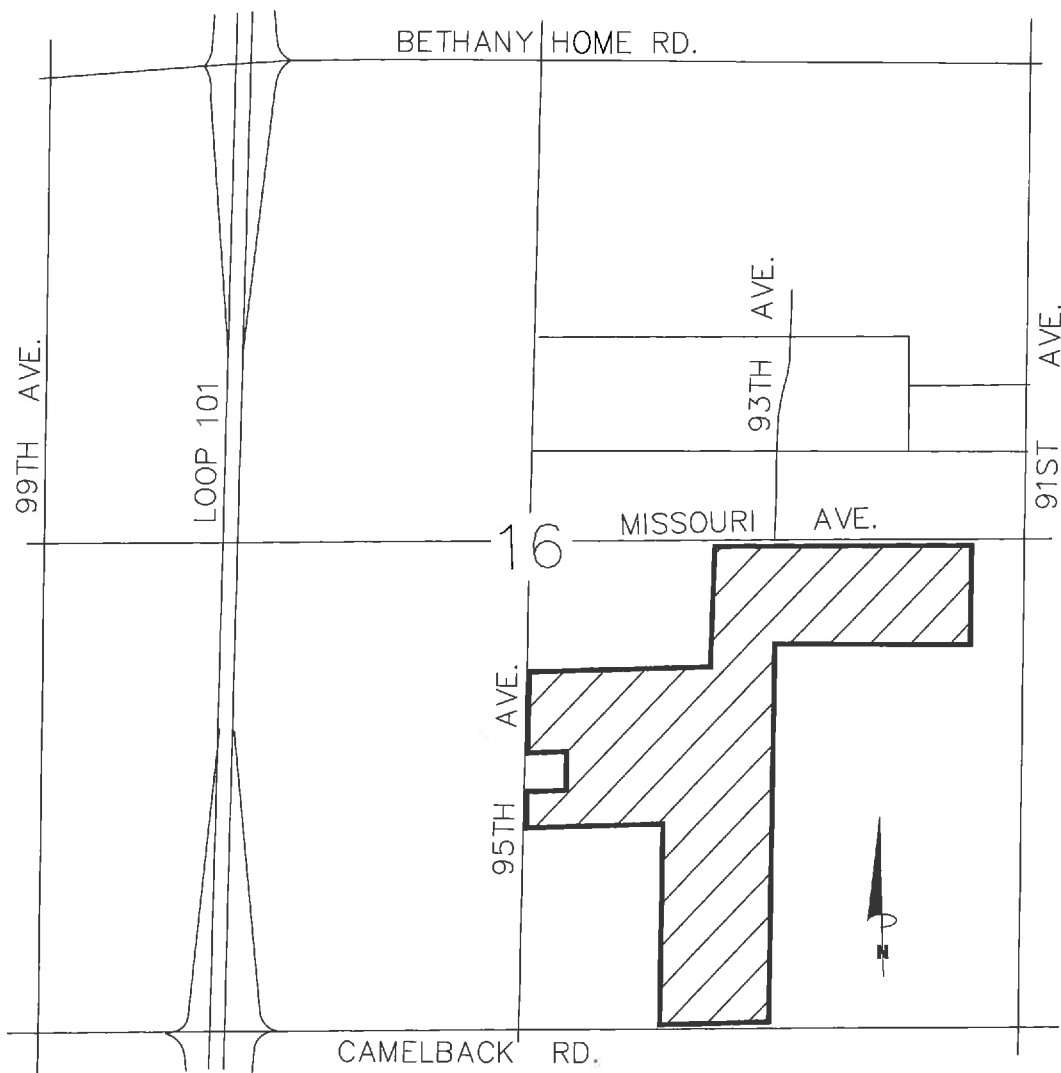
PARCEL NO. 2

LOTS 1 THROUGH 180 (INCLUSIVE) AND TRACTS A THROUGH X (INCLUSIVE), OF COPPER COVE PHASE 2, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 989 OF MAPS, PAGE 18.

SAID PARCEL CONTAINS 2,469,465 SQUARE FEET OR 56.6911 ACRES, MORE OR LESS.



EXHIBIT B
VICINITY MAP



Bowman
CONSULTING

3010 South Priest Drive Ste 103
Tempe, Arizona 85282

Phone: (480) 629-8830
www.bowmanconsulting.com

COPPER COVE

GLENDAL, ARIZONA

VICINITY MAP EXHIBIT

JOB # 9700-01-001

DATE 12 / 2012

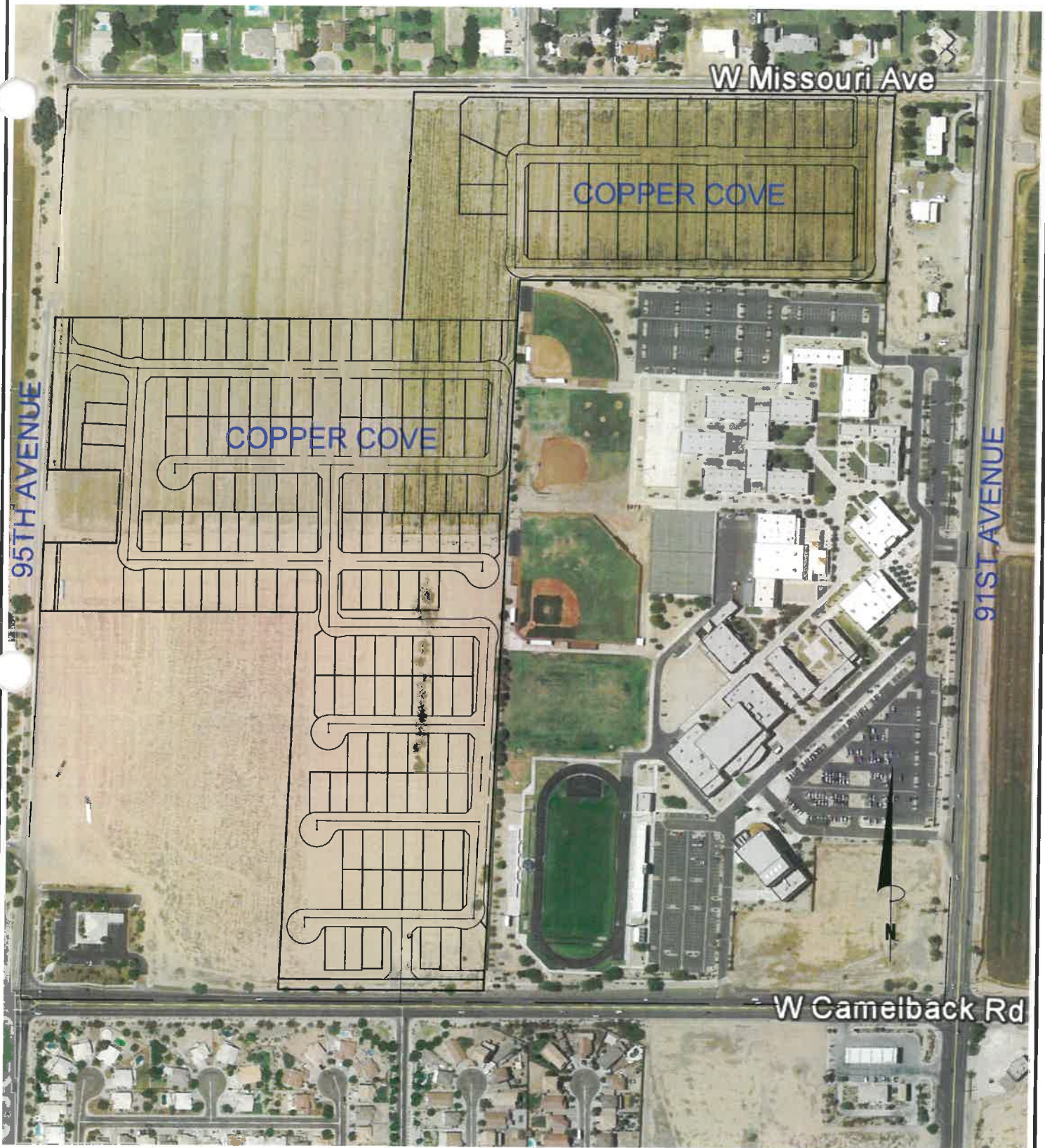
SCALE NONE

DRAWN RMR

EXHIBIT B

CAD FILE NAME: P:\9700 - Copper Cove\9700-01-001 (ENG)\Engineering\Exhibits\9700 Vicinity Map Exhibit.dwg 12/10/2012

EXHIBIT C
AERIAL MAP



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CONSULTING

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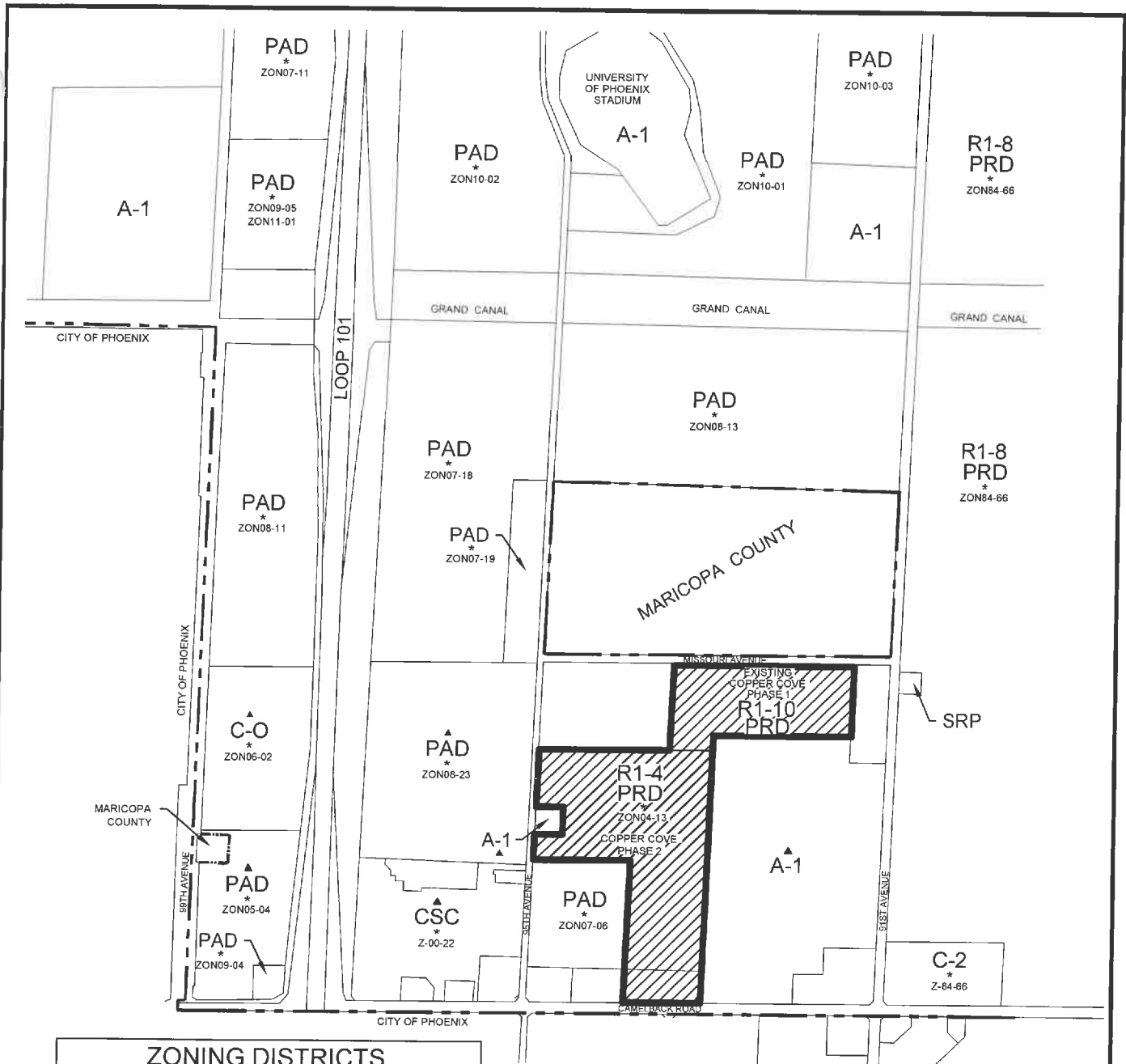
COPPER COVE

GLENDAL, ARIZONA

AERIAL MAP

JOB #	9700-01-001
DATE	12 / 2012
SCALE	NONE
DRAWN	RMR
EXHIBIT	C

EXHIBIT D
ZONING EXHIBIT



ZONING DISTRICTS	
ZONE	GENERAL USE
A-1	Agricultural
R1-4	Single Residence
R1-8	Single Residence
C-O	Commercial Office
C-2	General Commercial
CSC	Commercial Shopping Center
PAD	Planned Area Development
PRD	Planned Residential Development

LEGEND

- CITY LIMITS
- ▲ ZONING APPROVAL PENDING ORDINANCE ADOPTION
- * DEVELOPMENT CONDITIONS ATTACHED TO ZONING APPROVAL (REFERENCE ZONING APPLICATION NUMBER)



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3010 South Priest Drive Ste 103
Tempe, Arizona 85282

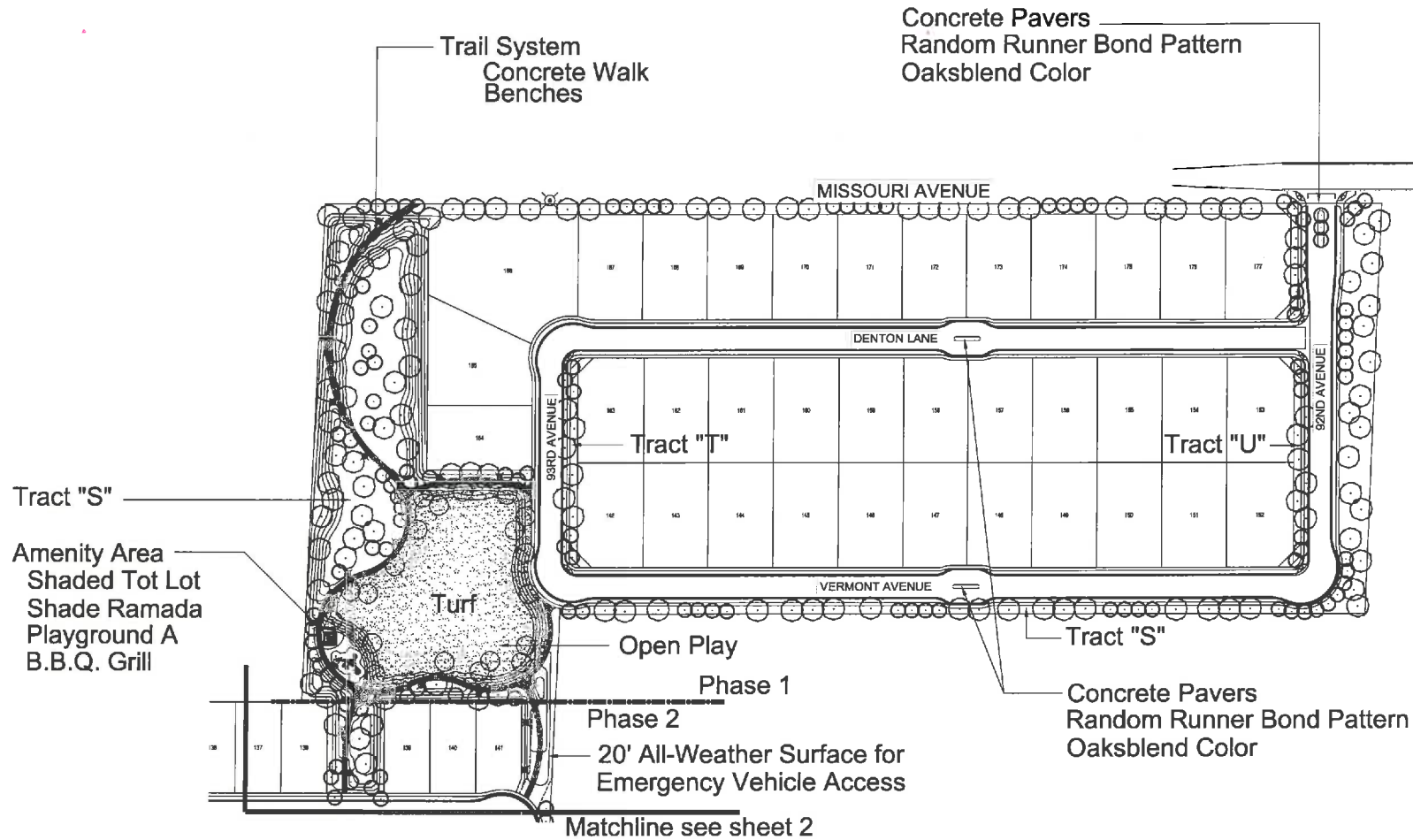
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COPPER COVE
GLENDALE, ARIZONA
ZONING EXHIBIT

JOB # 9700-01-001
DATE 12/2012
SCALE NONE
DRAWN RMR
EXHIBIT D

EXHIBIT E
CONCEPTUAL LANDSCAPE PLAN

Copper Cove Phases 1 and 2 Preliminary Planting Plan



PLAN VIEW PHASES 1 AND 2 LANDSCAPE PLAN



PLAYGROUND A TRACT "S"



PLAYGROUND B TRACT "D"



PLAYGROUND C TRACT "A"

CONCEPT PLANT SCHEDULE

- DESERT SHADE TREES: Cercidium floridum / Blue Palo Verde, Prosopis chilensis / Chilean Mesquite
- TURF SHADE TREES: Dalbergia sissoo / Rosewood, Ulmus parvifolia 'True Green' / True Green Elm
- ACCENT TREES: Acacia farnesiana smallii / Sweet Acacia, Chilopsis linearis / Desert Willow
- LARGE SHRUBS: Cassia biflora / Twin Flowered Cassia, Dodonaea viscosa 'Purpurea' / Purple Leafed Hopseed Bush, Leucophyllum frutescens 'White Cloud' / White Cloud Texas Ranger
- MEDIUM SHRUBS: Convolvulus cneorum / Bush Morning Glory, Leucophyllum langmaniae 'Rio Bravo' TM / Barometerbush, Ruellia californica / Wild Petunia
- GROUND COVER: Acacia redolens 'Lowboy' / Bank Catalaw, Lantana x 'New Gold' / New Gold Lantana, Myoporum parvifolium 'Tucson' / Trailing Myoporum
- TURF: Cynodon dactylon 'Midiron' / Bermuda Grass

TOTAL LANDSCAPE TRACT AREAS - PHASE 1			
	USE	AREA (SF)	AREA (AC)
TOTAL		200,418.58 SF	4.60 AC

USEABLE OPEN SPACE - PHASE 1			
LOT	USE	AREA (SF)	AREA (AC)
TRACT S	OPEN PLAY	142,147.98	3.263

TOTAL LANDSCAPE TRACT AREAS - PHASE 2			
	USE	AREA (SF)	AREA (AC)
TOTAL		325,962.23	7.482

USEABLE OPEN SPACE - PHASE 2			
	USE	AREA (SF)	AREA (AC)
TRACT A	OPEN SPACE	97,898.09	2.247
TRACT D	OPEN SPACE	54,848.11	1.259
TRACT H	OPEN SPACE	35,907.15	0.824
TRACT L	OPEN SPACE	22,259.73	0.511
TRACT M	OPEN SPACE	31,161.93	0.715
TRACT N	OPEN SPACE	18,044.85	0.414
TRACT Q	OPEN SPACE	12,363.01	0.284
TRACT R	OPEN SPACE	8,912.45	0.205
TOTAL		281,395.32	6.460

NOTES

- The 5 foot landscape area between the back of curb and the face of the offset sidewalk shall be planted and maintained by the developer. If this area is adjacent to the individual lots then they will be installed as part of the front yard landscape package as the lots are developed and will be maintained by the homeowner. The plant material shall include (1) 15 gal. tree and (2) 1 gal. groundcover per lot. The area will also receive 2" of decomposed granite.
- All Tot Lot areas shall be covered with a fabric shade structure.
- Area lighting (bollards, 12' pole mounted fixtures, and ramada fixtures) shall be installed along the trail system and tot lot areas.

LIGHTING SCHEDULE

SYMBOL	DESCRIPTION	QTY	DETAIL
⊗	Bollard	39	
⊗	Pole Mounted Fixture	3	
⊗	Ramada Fixture	3	

DATE

REVISION

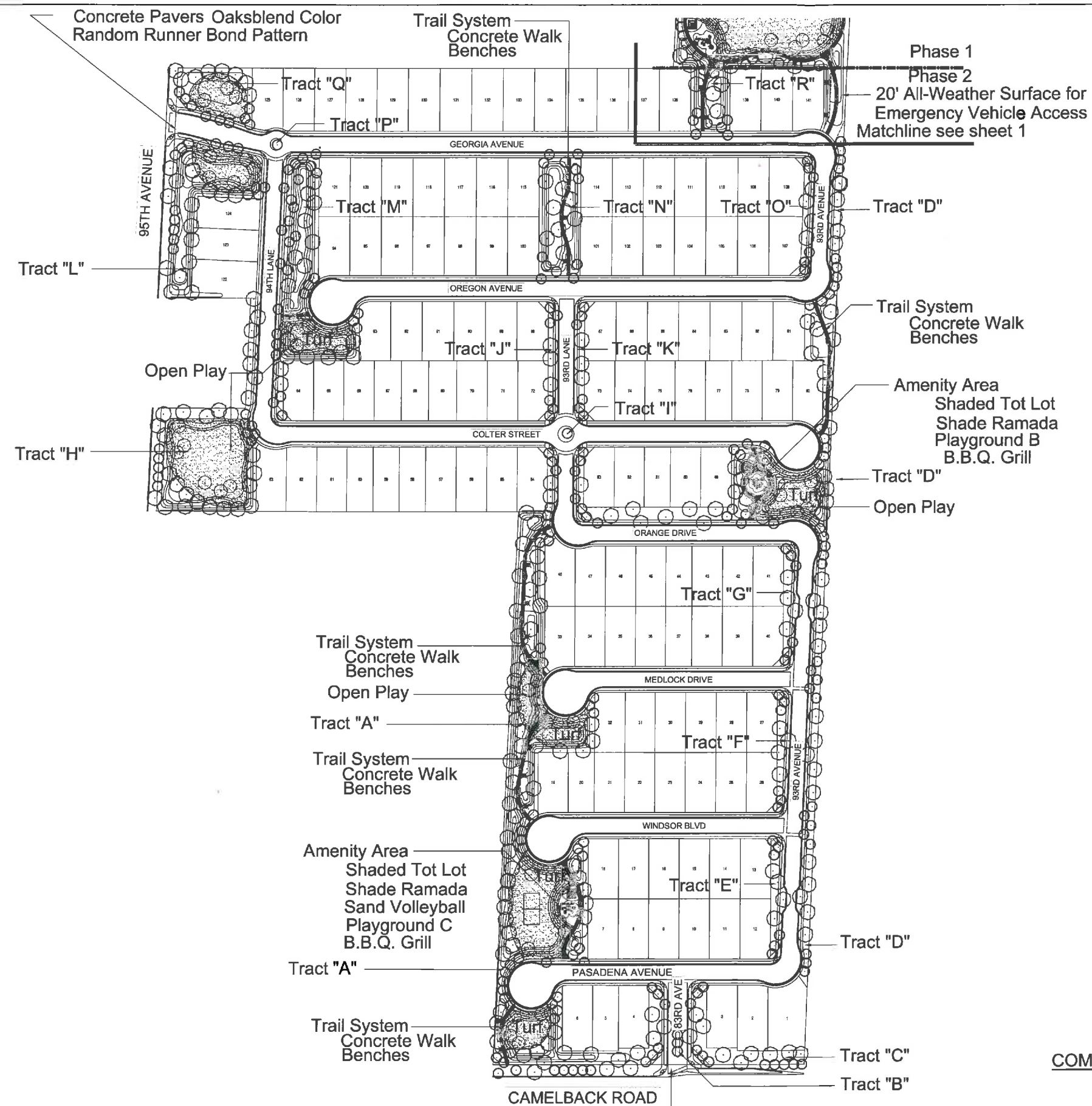
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SHEET

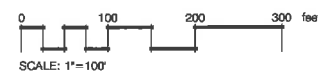
1 OF 4

CVL Contact: E. Swetland, RLA
CVL Project #: 01-0230601
CVL File #:










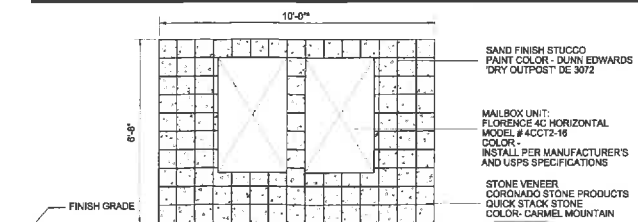
PLAN VIEW PHASE 2 LANDSCAPE PLAN

- Concrete Pavers
Random Runner Bond Pattern
Oaksblend Color



CONCEPT PLANT SCHEDULE

-  CERESIDUM TREES
Cercidium floridum / Blue Palo Verde
Prosopis chilensis / Chilean Mesquite
-  TURF SHADE TREES
Dalbergia sissoo / Rosewood
Ulmus parvifolia 'True Green' / True Green Elm
-  ACCENT TREES
Acacia farnesiana smallii / Sweet Acacia
Chilopsis linearis / Desert Willow
-  LARGE SHRUBS
Cassia biflora / Twin Flowered Cassia
Dodonaea viscosa 'Purpurea' / Purple Leafed Hopseed Bush
Leucophyllum frutescens 'White Cloud' / White Cloud Texas Ranger
-  MEDIUM SHRUBS
Convolvulus cneorum / Bush Morning Glory
Leucophyllum langmaniae 'Rio Bravo' TM / Barmeterbush
Ruellia californica / Wild Petunia
-  GROUND COVER
Acacia redolens 'Lowboy' / Bank Catclaw
Lantana x 'New Gold' / New Gold Lantana
Myoporum parvifolium 'Tucson' / Trailing Myoporum
-  TURF
Cynodon dactylon 'Midran' / Bermuda Grass



* THIS DIMENSION MAY VARY DEPENDING ON THE NUMBER OF CBU UNITS REQUIRED BY THE U.S. POSTAL SERVICE.

THE EXACT NUMBER AND LOCATION OF THESE MAILBOX KIOSKS SHALL BE DETERMINED BY THE U.S. POSTAL SERVICE


COMMUNITY MAILBOXES



Preliminary Landscape Plan

NO.	REVISION	DATE
-----	----------	------

Copper Cove Phases 1 and 2
Preliminary Landscape Plan
95th Avenue and Camelback Road

A circular seal for the Arizona Landscaping Architect. The outer ring contains the text "Registered Landscaping Architect" at the top and "ARIZONA, U.S.A." at the bottom. The inner circle contains the text "CERTIFICATE NO. 21411", "EARL J. SWETLAND", "Date Signed 06/01/19", and "Expires 6-30-2015". A handwritten signature "Earl J. Swetland" is written across the top of the seal.

SHEET

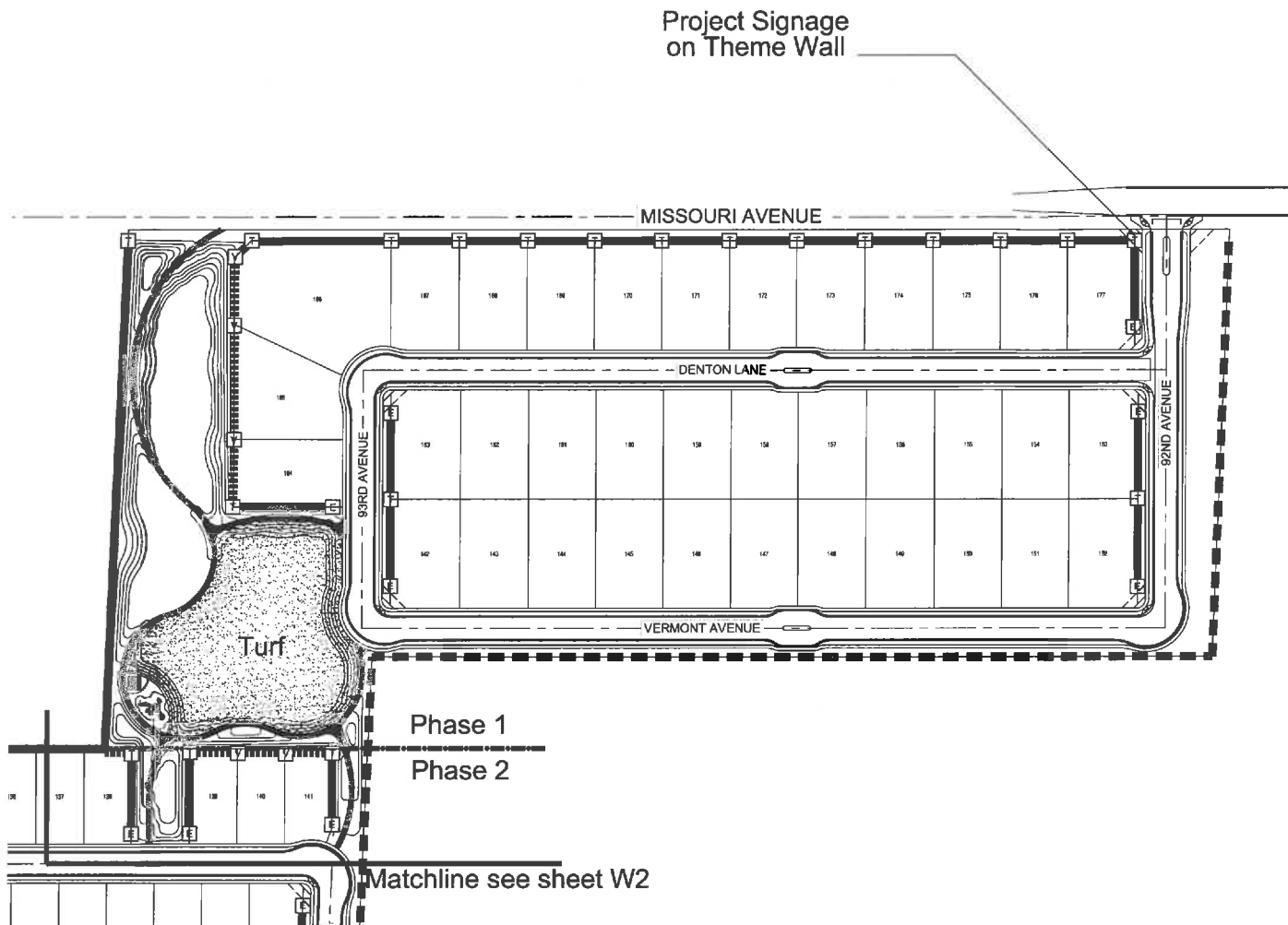
2 OF 4

CVL Contact: E. Swetland, RLA
CVL Project #: 01-0230601
CVL File #:

Copper Cove Phases 1 and 2

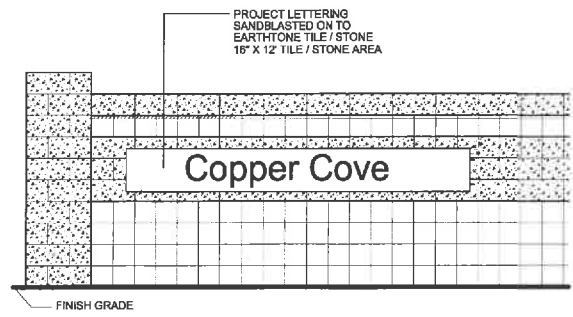
Preliminary Wall Plan

CVL
COE & VAN LOO
4550 North 12th Street
Phoenix, Arizona 85014
Phone: (602) 284-6831
http://www.cvlci.com



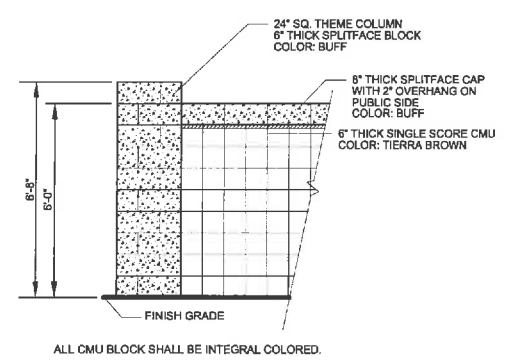
WALL SCHEDULE

- V** View Wall Column
- E** End of Wall Column
- T** Theme Column
- 6' Theme Wall**
- 8' Theme Wall**
- 6' View Wall**

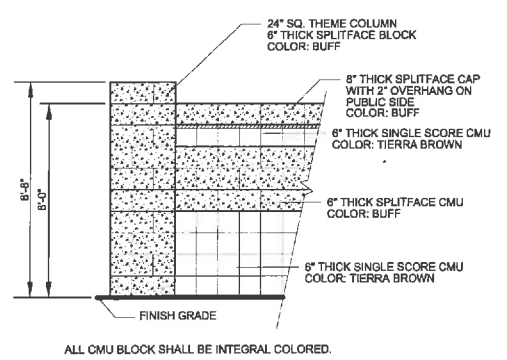


PROJECT SIGNAGE ON THEME WALL

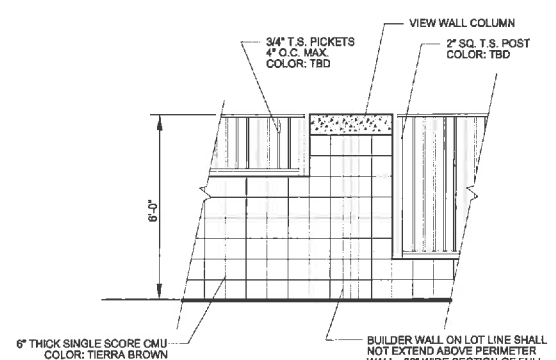
PLAN VIEW PHASES 1 AND 2 WALL PLAN



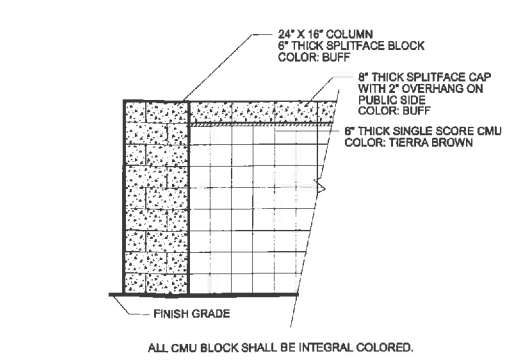
6' THEME WALL
Standard Wall shall be used on all interior walls



8' THEME WALL
Theme Wall shall be used along all arterial roads



VIEW FENCE
View Fence shall be used along the rear yards that back on large open space areas



END OF WALL COLUMN

Preliminary Landscape Plan

Copper Cove Phases 1 and 2

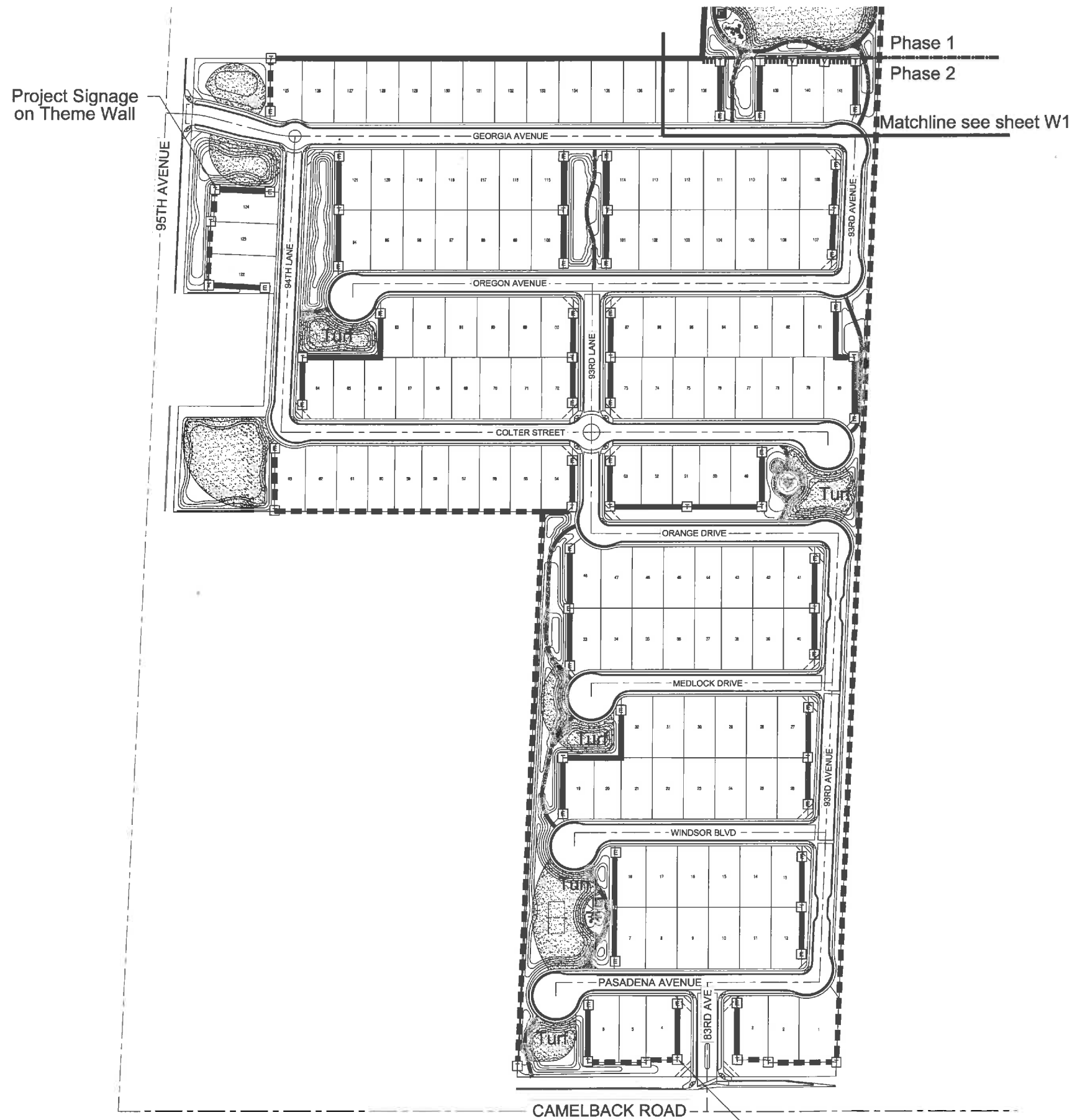
Preliminary Landscape Plan

95th Avenue and Camelback Road



SUSERS
SDATES
STWEE
\$FLENAHLS

PLAN VIEW PHASES 1 AND 2 WALL PLAN



Copper Cove Phases 1 and 2

Preliminary Wall Plan

WALL SCHEDULE

V	View Wall Column
E	End of Wall Column
T	Theme Column
	6' Theme Wall
	8' Theme Wall
	6' View Wall

CVL
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Preliminary Landscape Plan

DATE

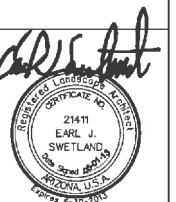
REVISION

NO.

Copper Cove Phases 1 and 2

Preliminary Landscape Plan

95th Avenue and Camelback Road



SHEET

4 OF 4

CVL Contact: E. Swetland, RLA
CVL Project #: 01-0230601
CVL File #:

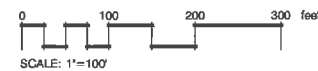
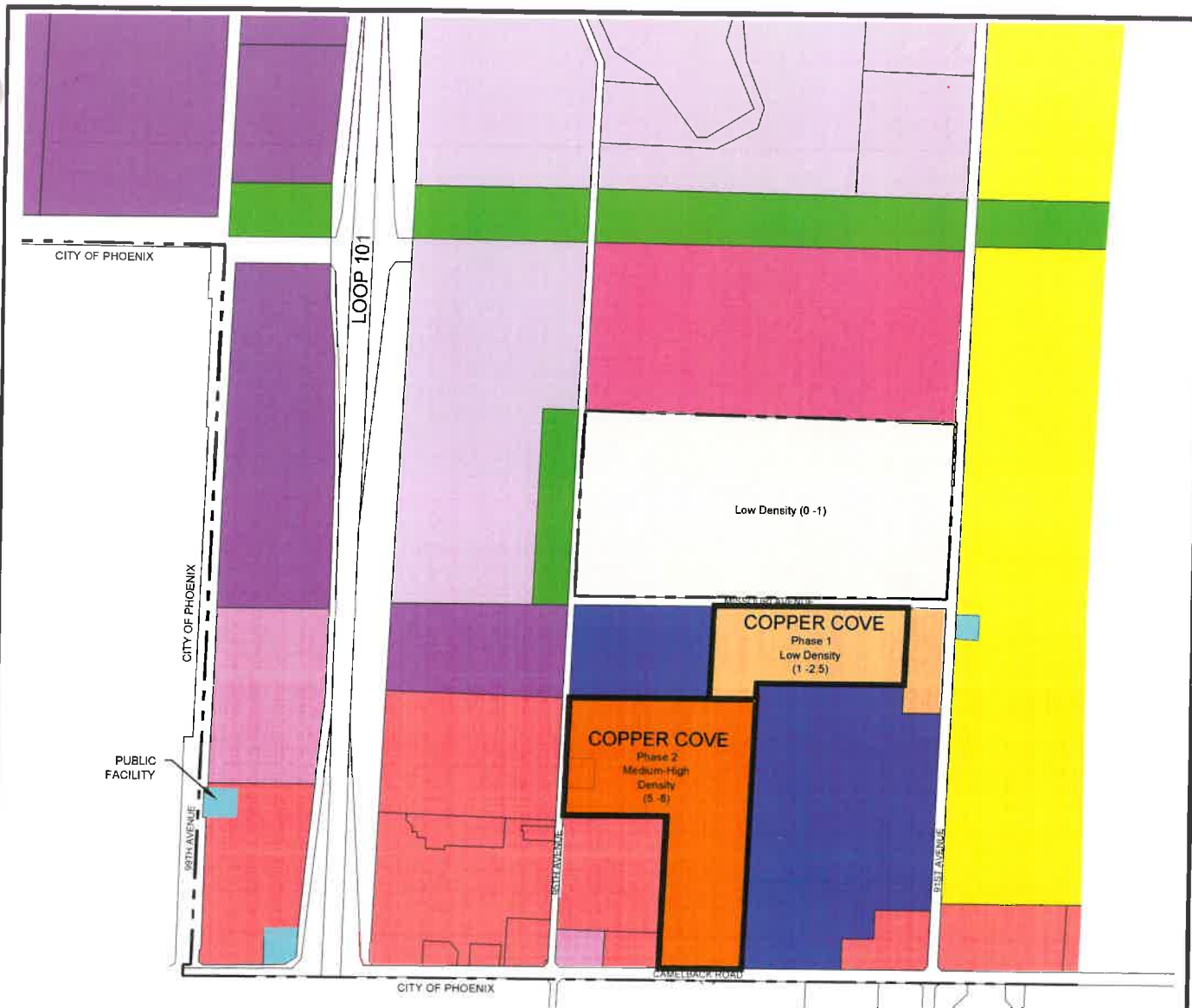


EXHIBIT F
GENERAL PLAN LAND USE MAP



LAND USE DESIGNATIONS

	Low Density Residential: 0 - 1 du/ac
	Low Density Residential: 1- 2.5 du/ac
	Medium Density Residential: 2.5 - 3.5 du/ac
	Medium High Density Residential: 5 - 8 du/ac
	Office
	Planned Commercial
	Entertainment Mixed-Use
	Corporate Commerce Center
	Business Park
	Educational
	Parks and Open Space
	Public Facility

LEGEND

---	CITY LIMITS
---	PROJECT BOUNDARY



Bowman
CONSULTING

3010 South Priest Drive Ste 103
Tempe, Arizona 85282

Phone: (480) 629-8830
www.bowmanconsulting.com

COPPER COVE

GLENDAL, ARIZONA

GENERAL PLAN LAND USE MAP

JOB # 9700-01-001

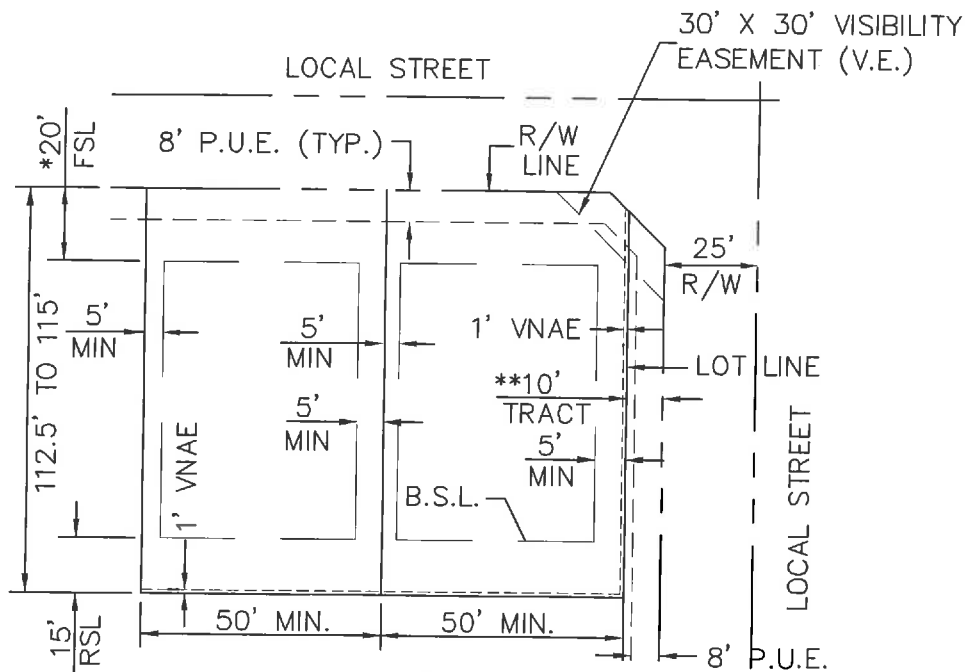
DATE 12/2012

SCALE NONE

DRAWN RMR

EXHIBIT F

**EXHIBITS G1 AND G2
TYPICAL LOT SETBACKS**



R1-4 PRD
TYPICAL LOT DETAIL
 (50' TO 58' WIDTH LOTS)
 N.T.S.

- * A MINIMUM OF 10' FRONT SETBACK (FSL) IS PERMITTED TO LIVING AREAS OR SIDE ENTRY GARAGES.
- ** A 10' (MIN) TRACT SHALL BE PROVIDED ADJACENT TO A STREET SIDE YARD SETBACK.
- MINIMUM DISTANCE BETWEEN BUILDING ON ADJACENT LOTS IS 10'.
- MAXIMUM LOT COVERAGE IS 50%

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COPPER COVE

GLENDAL, ARIZONA

TYPICAL LOT SETBACK - R1-4 PRD

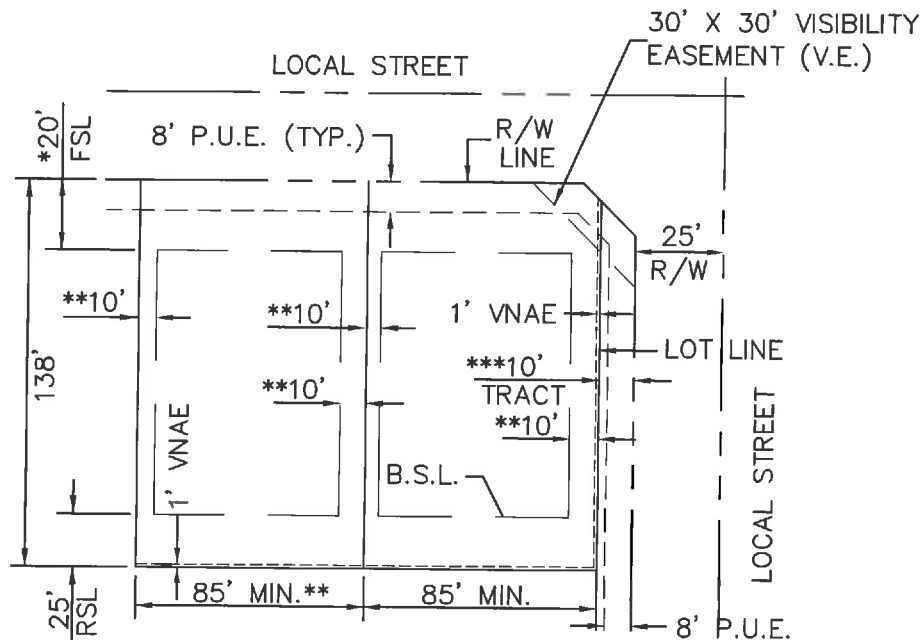
JOB # 9700-01-001

DATE 12/2012

SCALE NONE

DRAWN RMR

EXHIBIT G1



R1-10 PRD
TYPICAL LOT DETAIL
 (85' WIDTH LOTS)
 N.T.S.

- * A MINIMUM OF 15' FRONT SETBACK (FSL) IS PERMITTED TO LIVING AREAS OR SIDE ENTRY GARAGES.
- ** MINIMUM SIDE YARD SETBACK OF 5' (20' COMBINED)
- *** A 10' (MIN) TRACT SHALL BE PROVIDED ADJACENT TO A STREET SIDE YARD SETBACK.
- MINIMUM DISTANCE BETWEEN BUILDING ON ADJACENT LOTS IS 20'.
- MAXIMUM LOT COVERAGE IS 45%

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COPPER COVE

GLENDAL, ARIZONA

TYPICAL LOT SETBACK - R1-10 PRD

JOB # 9700-01-001

DATE 12 / 2012

SCALE NONE

DRAWN RMR

EXHIBIT G2

EXHIBIT H
STREET CROSS SECTIONS

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COPPER COVE

GLENDAL, ARIZONA

STREET CROSS SECTIONS

JOB # 9700-01-001

DATE 12/2012

SCALE NONE

DRAWN RMR

EXHIBIT H

CAD FILE NAME: P:\9700 - Copper Cove\9700-01-001 (ENG)\Engineering\Exhibits\9700 H-Street Sections.dwg 04/08/2013

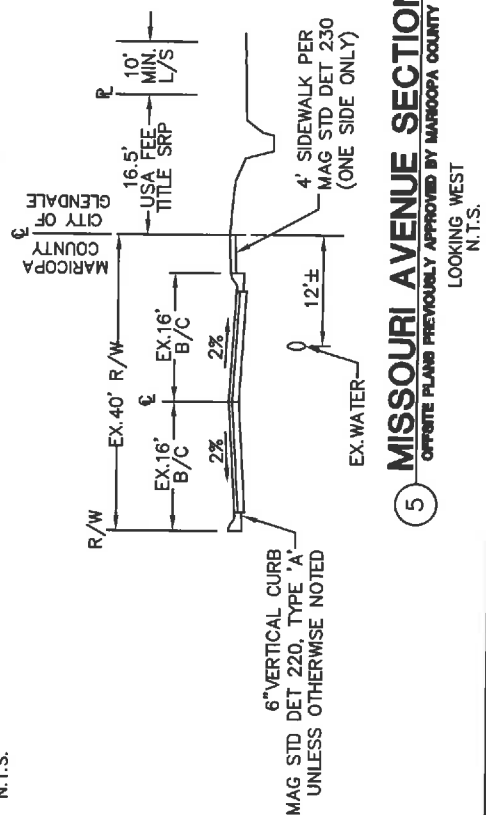
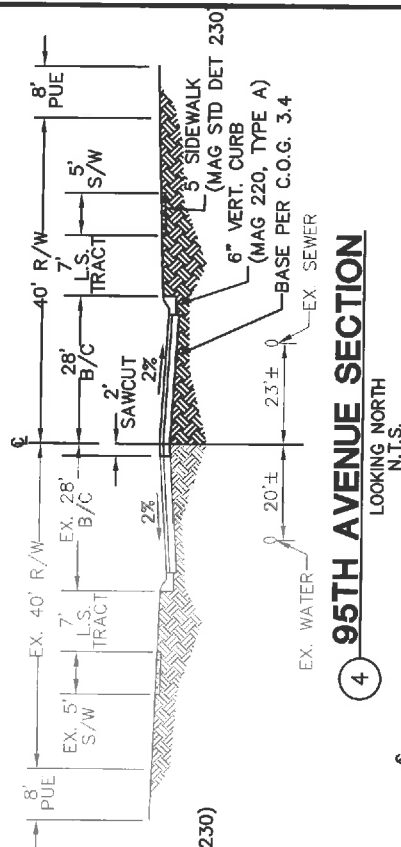
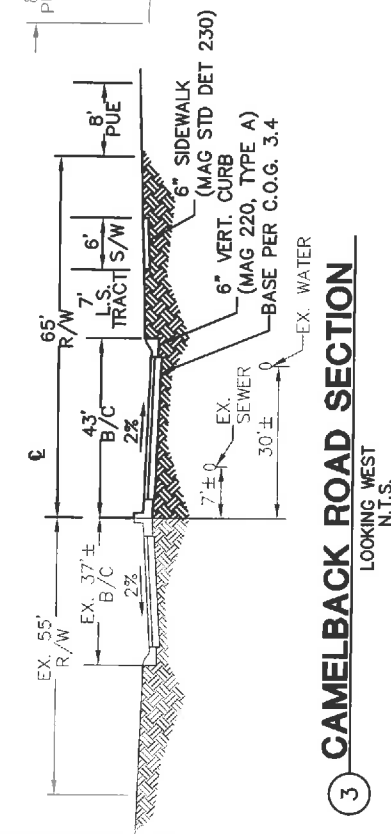
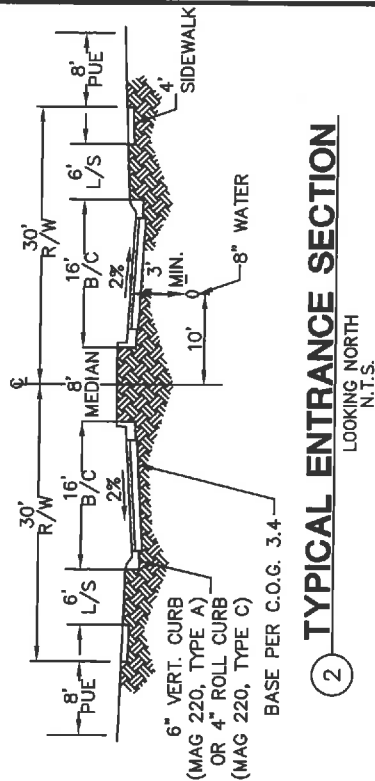
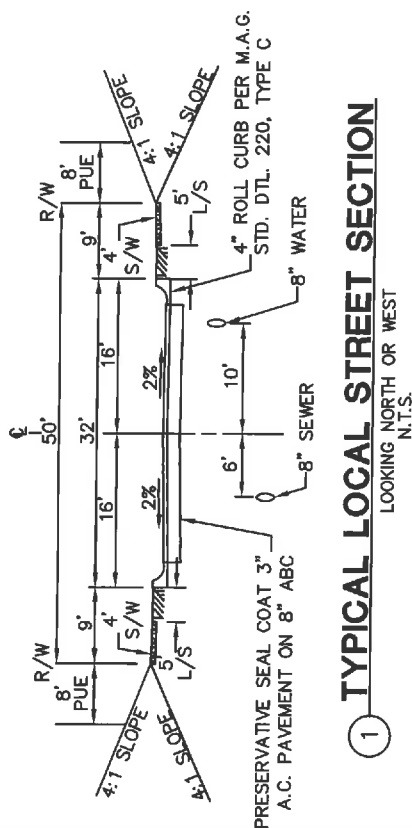
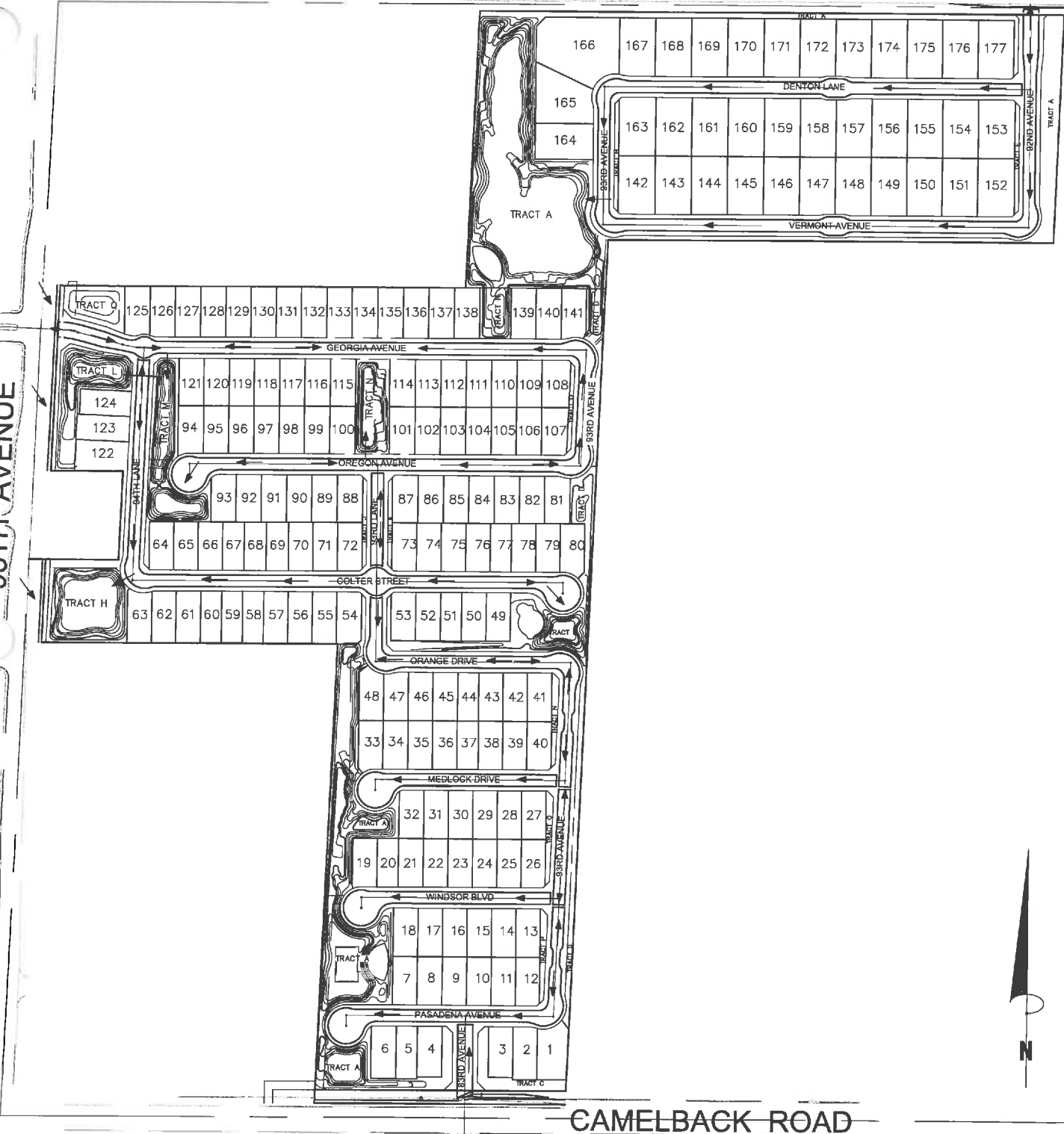


EXHIBIT I
DRAINAGE PLAN

MISSOURI AVENUE

95TH AVENUE



CAMELBACK ROAD

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COPPER COVE
GLENDALE, ARIZONA
DRAINAGE PLAN

JOB #	9700-01-001
DATE	12 / 2012
SCALE	NONE
DRAWN	RMR
EXHIBIT	I

EXHIBIT J
PHASING PLAN

MISSOURI AVENUE

COPPER COVE
PHASE 1

COPPER COVE
PHASE 3

COPPER
COVE
PHASE 2

91ST AVENUE

95TH AVENUE

CAMELBACK ROAD

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COPPER COVE
GLENDALE, ARIZONA
PHASING PLAN EXHIBIT

JOB #	9700-01-001
DATE	12 / 2012
SCALE	NONE
DRAWN	RMR
EXHIBIT	J