

OLIVE VILLAS

*Approved by City Council
2-14-95*

**APPROVED PLAN
COMMUNITY DEVELOPMENT
CITY OF GLENDALE**

Dan Jankuba

AN EXPLANATORY STATEMENT FOR A PROPOSED R1-6 PRD SUBDIVISION

SUBMITTED BY:

**D. HOOVER & ASSOCIATES INVESTMENTS, INC.
AND
LOS ALTOS HILLS REALTY, INC.**

stainton design group/neill vecchia associates

**3014 North Hayden Road
Suite 122
Scottsdale, AZ 85251
(602) 949-7127
fax (602) 949-2655**

RECEIVED

DEC 22 1994

PLANNING & ZONING DEPT.

OLIVE VILLAS

TABLE OF CONTENTS

TOPICS

LOCATION MAP

LEGAL DESCRIPTION

PRELIMINARY PLAT

PRELIMINARY LANDSCAPE PLAN

SITE DETAILS, STREETScape & ENTRY MONUMENTS

NARRATIVE

ARCHITECTURAL

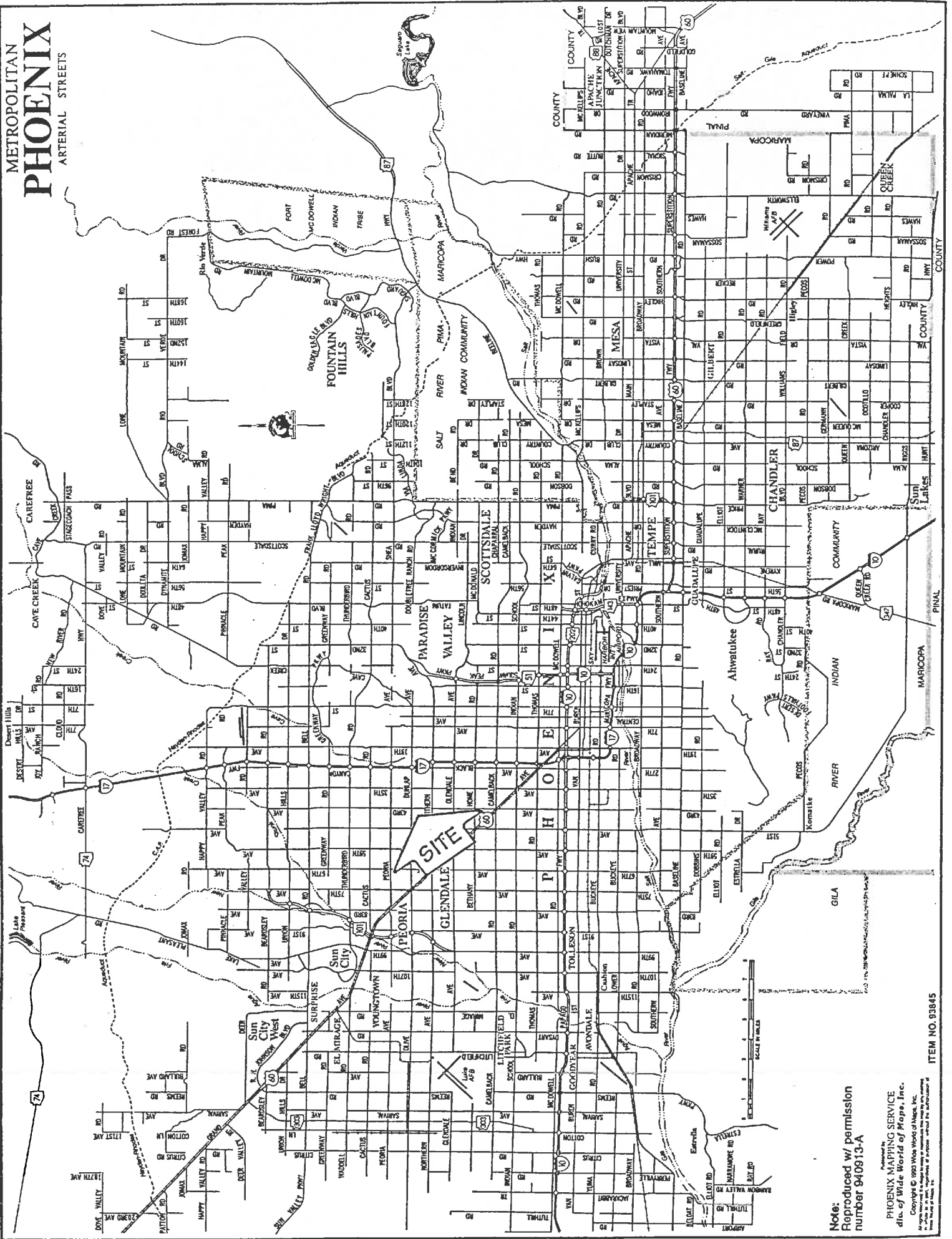
STANDARD FEATURES

DEVELOPMENT STANDARDS

TYPICAL PLOT PLAN

LOCATION MAP

METROPOLITAN PHOENIX ARTERIAL STREETS



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ITEM NO. 93845

LEGAL DESCRIPTION

OLIVE VILLAS

LEGAL DESCRIPTION

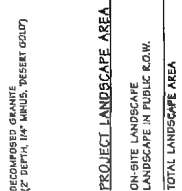
That part of the Northeast quarter of the Northeast quarter of Section 33, Township 3 North, Range 2 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona, described as follows:

From the Northeast corner of the said Northeast quarter of the Northeast quarter of Section 33; thence South 00 degrees 18 minutes 40 seconds West along the East line of the said Northeast quarter of the Northeast quarter of Section 33, a distance of 1006.96 feet; thence North 89 degrees 27 minutes 14 second West 50.00 feet to the point of beginning; thence South 00 degrees 18 minutes 40 seconds West parallel to the said East line, a distance of 258.41 feet to a point 45.00 feet Northerly from the South line of the said Northeast quarter of the Northeast quarter of Section 33; thence South 45 degrees 29 minutes 43 seconds West 21.17 feet to a point which is 30.00 feet Northerly from the said South line and 65.00 feet Westerly from the East line of the said Northeast quarter of the Northeast quarter Section 33; thence North 89 degrees 27 minutes 14 seconds West parallel to and 30.00 feet Northerly from the said South line, a distance of 1210.60 feet to a point 45.00 feet Easterly from the West line of the said Northeast quarter of the Northeast quarter of Section 33; thence North 44 degrees 35 minutes 32 seconds West 21.26 feet to a point 30.00 feet Easterly from the said West line and 45.00 feet Northerly from the said South line of the Northeast quarter of the Northeast quarter Section 33; thence North 00 degrees 16 minutes 09 seconds East parallel to and 30.00 feet Easterly from the said West line, a distance of 561.41 feet; thence South 89 degrees 27 minutes 14 seconds East 741.29 feet; thence South 00 degrees 21 minutes 33 seconds West 303.00 feet; thence South 89 degrees 27 minutes 14 seconds East 500.00 feet to the point of beginning. EXCEPT, the easterly 245 feet thereof.

PRELIMINARY PLAT

PRELIMINARY LANDSCAPE PLAN

HRUBS/GRGUN2COVER

ACCHAKIS CENTENNIAL 1 GA

PROJECT LANDSCAPE AREA

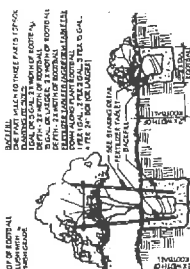
ON-SITE LANDSCAPE

✓ GRADUATE EMPLOYMENT WAS 78% IN 1961 AND 81% IN 1962.

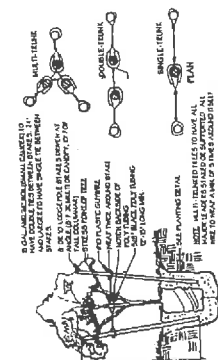


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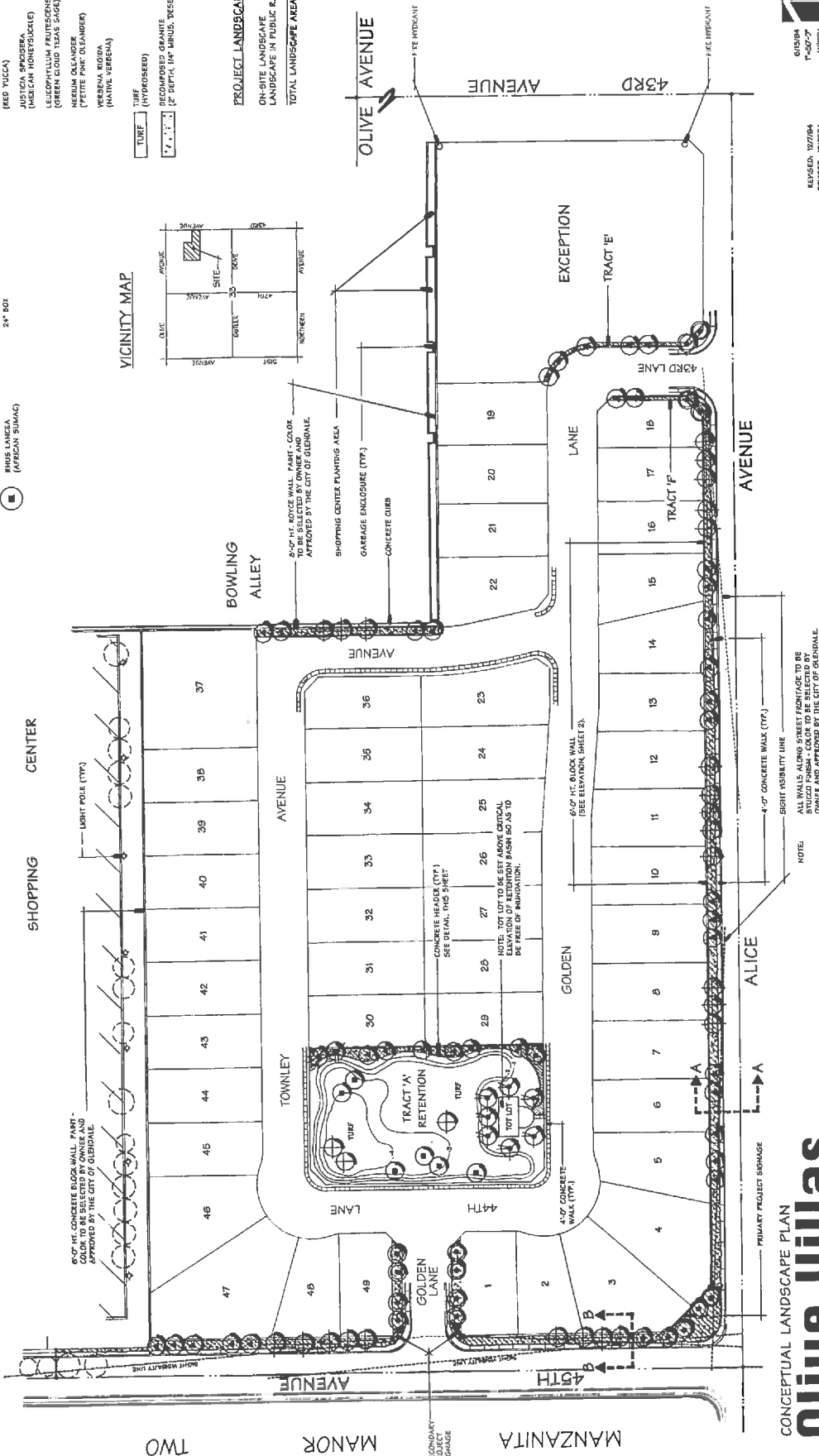
CONCRETE HEADER DETAIL



TREE STAKING DETAIL



SHRUB AND TREE PLANTING DETAIL

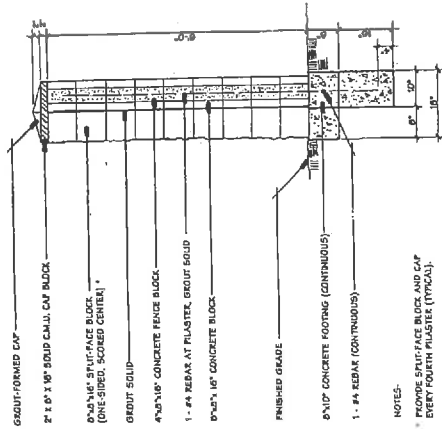


CONCEPTUAL LANDSCAPE PLAN

Olive Villas

PREPARED FOR: D HOOVER & ASSOC INVESTMENTS INC. AND LOS ALTOS HILLS REALTY, INC.

**SITE DETAILS,
STREETSCAPE &
ENTRY MONUMENTS**



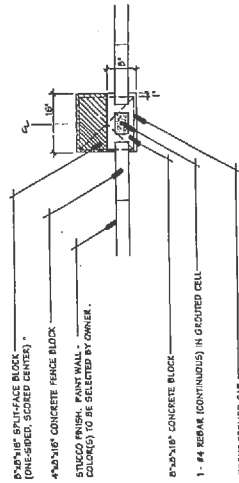
NOTES:-

* PROVIDE SPIT-FACE BLOCK AND CAP EVERY FOURTH PLASTER (TYPICAL).

SEE MANUFACTURER'S SPECIFICATIONS FOR GROUT AND MORTAR REQUIREMENTS AND PLASTER SPACING.

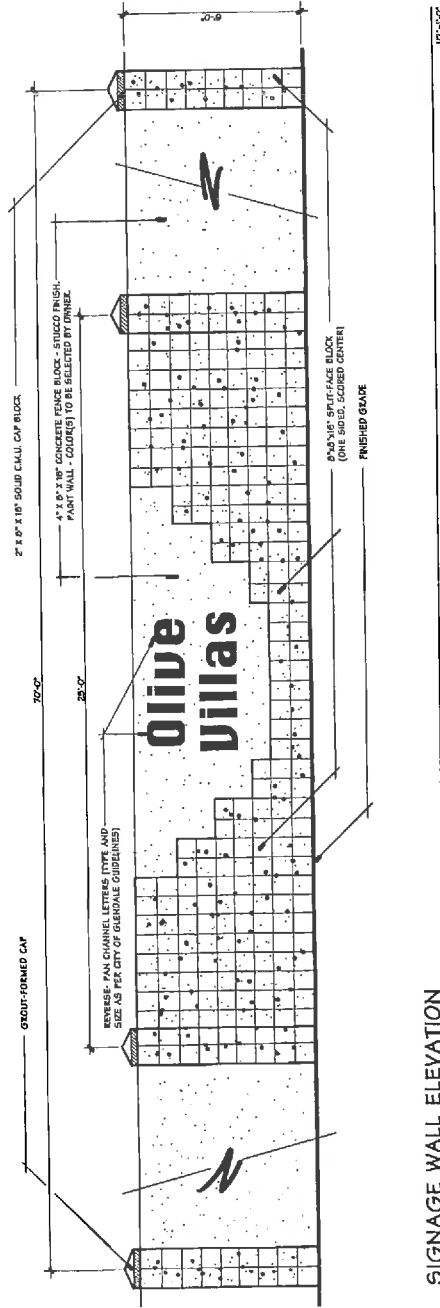
GET OWNER APPROVAL PRIOR TO CONSTRUCTION. GROUT WALL - CONCRETE TO BE SELECTED BY OWNER.

SECTION THRU PERIMETER WALL

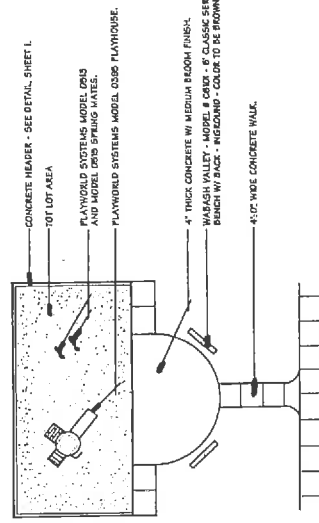


NOTES -
 PROVIDE SPLIT-FACE BLOCK AND CAP
 EVERY FOURTH PILASTER (TYPICAL).
 SEE MANUFACTURER'S SPECIFICATIONS
 FOR GROUT AND MORTAR REQUIREMENTS
 AND PILASTER SPACING.

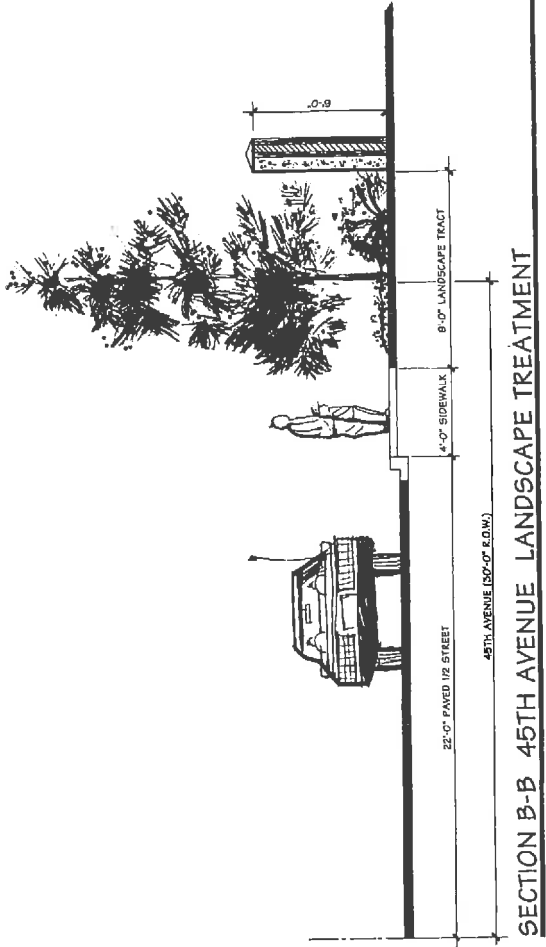
DETAIL @ PILASTER



SIGNAGE WALL ELEVATION



TOT LOT ENLARGEMENT PLAN



Olive Villas

PREPARED FOR: D. HOOVER & ASSOC. INVESTMENTS, INC. AND LOS ALTOS HILLS REALTY, INC.

REVISED: 12/7/94
EXPANDED: 12/22/94



REVISED: 12/7/94
EXPANDED: 12/22/94
NVA
NORTH VALLEY ARCHITECTS
1000 AVENUE OF THE STARS
SUITE 100
LOS ANGELES, CA 90069
TEL: (213) 771-1111
FAX: (213) 771-1112



3 OF 3

NARRATIVE

OLIVE VILLAS

The Olive Villas plan has been revised to respond to issues raised at the initial Planning Commission hearing on the case. The plan modifications are reflected in this revised PRD submittal and have been reviewed in two separate meetings with neighbors of the project.

LAND USE

Olive Villas is a proposed subdivision of a 12.83 acre parcel located on the northeast corner of 45th Avenue and Alice and is directly south and west of the commercial center located on the southwest corner of 43rd Avenue and Olive. This parcel will yield 49 lots (min. 55' x 110') resulting in a gross density of 3.82 units per acre.

The property requires rezoning to bring it in compliance with the current General Plan which calls for residential development with densities from 5 to 8 units per acre. The rezoning from C-2 commercial to R1-6 PRD would result in having 55' x 110' lots between the existing commercial and the existing R1-6 (70' x 105' Lots).

The existing residential communities immediately to the west and south do not have homes that face the proposed subdivision. These Olive Villas will also back up to the perimeter but landscaping will be installed between the sidewalk and block wall along the perimeter streets. The right of way landscaping on the north side of Alice Avenue will be 8 feet wide rather than 4 feet as exists on the south side of the street. An 8 foot wide landscaped area will also be provided along 45th Avenue as depicted on the exhibit preceding this narrative.

Streets will be built to city standards and dedicated to the City for public use. The east half of 45th Avenue and the north half of Alice Avenue will be improved to full width. These improvements will provide safer access to the existing neighborhood.

LOT ORIENTATION

The proposed plat has been designed to provide as many north-south facing lots as possible to allow for the proper solar orientation that energy-conscious homebuyers are demanding. East and west facing windows will include

OLIVE VILLAS

optional solar screens, and all houses will be built using energy conservation features where economically feasible. All of the east-west facing lots front the open space park and retention area. The "Standard Feature" section included elsewhere in this presentation outlines our intent to provide a quality product with an emphasis on water and energy conservation wherever possible.

OPEN SPACE; LANDSCAPING; AND NEIGHBORHOOD AMENITIES

A twenty foot wide landscape buffer currently exists on the far north side of the proposed development between the site and the parking lot. Landscaping will be provided along the right-of-way on Alice Avenue, and 45th Avenue. Such landscaping will emphasize the "xeriscape" concept.

We have provided an "open space" amenity in the center of the Subdivision to allow for onsite water retention, and a separate area has been created for a tot-lot, complete with grass areas for homeowner's use. All tracts indicated on the plat will be deeded to a to-be-formed **Olive Villas** Homeowners' Association, which will be responsible for maintaining all common areas. The frontage landscape on 45th and Alice Avenues will also be maintained by the Homeowners' Association.

WALLS; ENTRYWAY MONUMENTATION

As this is a stand-alone subdivision, there are no existing walls to tie into or match. Accordingly, we have designed our perimeter wall along 45th and Alice Avenues to incorporate 4" block with projections as per the enclosed exhibits in the front part of this presentation. All individual house fences will be 4" Pilaster block, and all returns between houses facing the street will be painted to match the adjacent homes.

There are two project monumentation areas for **Olive Villas**. The northeast corner of 45th Avenue and Alice Avenue will have major monumentation as per the details enclosed elsewhere in this presentation. Minor entry signage will also occur at the entry located on 45th Avenue. In addition, the common area at the northeast corner of 45th and Alice Avenues will feature landscaping.

OLIVE VILLAS

HOME DESIGN

The product at **Olive Villas** is designed to appeal to a broad spectrum of buyers: from first time homeowners to professionals with growing families. The architectural charter will require defined entryways, varied optional rooflines, ground-mounted heating and cooling equipment, and concrete tile roofs. Homes will be one and two story design with stucco on all four sides, standard covered patios and front yard landscaping.

The homes will range in size from 1150 to 2000 square feet. Although larger plans with 3-car garages are being considered, the minimum livable square footage would be approximately 1150 square feet.

- Front yard setbacks will vary from a minimum of 17 feet to a maximum of 22 feet.
- When placed on a lot using minimum front setbacks, all houses will have a rear yard area ranging from 25' to 41' in depth - more than ample space for pool and play areas.
- Minimum 5' and 10' side yard setbacks have been established for all lots.

CONCLUSION

This proposal is presented to the City of Glendale after considerable interaction with the Planning Staff and neighborhood groups. Our initial discussions with Staff have resulted in larger lots than we originally proposed, and the current site plan reflects Staff's recommendations as to landscaping, open areas, and traffic patterns.

The quality of life issues raised during the various above meetings have been met as follows:

- Landscaped perimeters and interior tracts provide visual relief and a feeling of openness.
- An open space area with neighborhood amenities suitable for homeowners' use has been provided.
- Large rear yards assure that individual homeowners will have usable play and pool areas adjacent to their homes.
- Major entryway monumentation and perimeter walls will identify this Subdivision as an upscale neighborhood.

ARCHITECTURE

OLIVE VILLAS

ARCHITECTURE

Residential development in **Olive Villas** shall meet the criteria of the City of Glendale Subdivision Design Expectations. The proposed residential community will feature single-level and two story homes of quality design. The homes will range from 1150 to 2000 square feet.

In addition, the following concepts will be incorporated into the design of the homes:

- Style is a product of the natural environment and the honest use of a selected range of materials.
- The homes will have complete stucco exteriors.
- All air conditioning systems will be located on the ground.
- The house plans will include double car garages, with optional three car garages offered on some models.
- Concrete tile roofs and covered patios will be standard with each house.
- Front and rear elevations will be articulated.
- Special attention will be given during the design process to create visual interest through articulation of wall planes, variation of roof forms and other architectural methods.
- Sectional garage doors will be standard with windows included when architecturally appropriate.
- Chimney masses can be used to establish an ornamental or thematic direction, and will be constructed with material and texture compatible with the building, with flues concealed from view.

OLIVE VILLAS

- Articulated building features should be utilized instead of plain geometries to increase the sense of individuality.
- All two story buildings should incorporate single story elements.
- Single story houses should include some variation of the ridge line.
- Deeply recessed entrances provide both protection from the elements and a sense of arrival.
- Windows should be architectural features and wherever possible, grouped into recessed arches or rounded by projections which provide shadow patterning.

STANDARD FEATURES

OLIVE VILLAS

STANDARD FEATURES

EXTERIOR

- Elegantly styled exteriors
- Concrete tile roof
- Front & rear yard hose bibbs
- Weatherproof exterior receptacles - front and rear
- Pre-wired for automatic garage door (ea.) opener
- Finished garages with storage
- Masonry fences with gates
- Choice of custom exterior colors
- Standard Patio Cover
- Standard Front Yard Landscaping Package

BATHROOM FEATURES

- Custom oak cabinets
- Cultured marble vanities with integral bowls
- Full width vanity mirrors with medicine cabinets
- Elongated water closets
- One piece shower/tub combinations

KITCHEN FEATURES

- Custom oak cabinets
- Double porcelain steel sink
- Large pantries (per plan)
- Full sized laundry rooms w/shelves
- Water line for icemaker
- Laminate countertops w/color choice
- Dishwasher and disposal

INTERIOR

- Dramatic architecture
- Elegant light fixtures
- Rounded drywall corners
- Spacious closets & storage areas
- Raised panel interior doors
- Pre-wired for TV & Telephone (2
- 220 volt outlet & vent for dryer
- Smoke detectors
- Ceramic tile entry
- Decorator light switches and plates
- Custom textured walls & ceilings
- Quality sheet vinyl, kitchen & bath
- Copper wiring - 110 volt circuits
- Polished brass hardware
- Colonist trim
- Deluxe carpet with many standard selections

WATER & ENERGY SAVING FEATURES

- R-30 ceiling insulation in living areas
- R-17 rated insulation in walls of living areas
- Ground mount HVAC system
- Dual pane windows
- High efficiency water heaters
- 1.6 gallon water closets

MASTER SUITE & BATH

- Dual sinks with full length mirrors
- Large walk-in closets (per plan)
- Spacious master suites
- Elegant faucets
- Custom oak cabinets
- Separate water closet area

DEVELOPMENT STANDARDS

OLIVE VILLAS

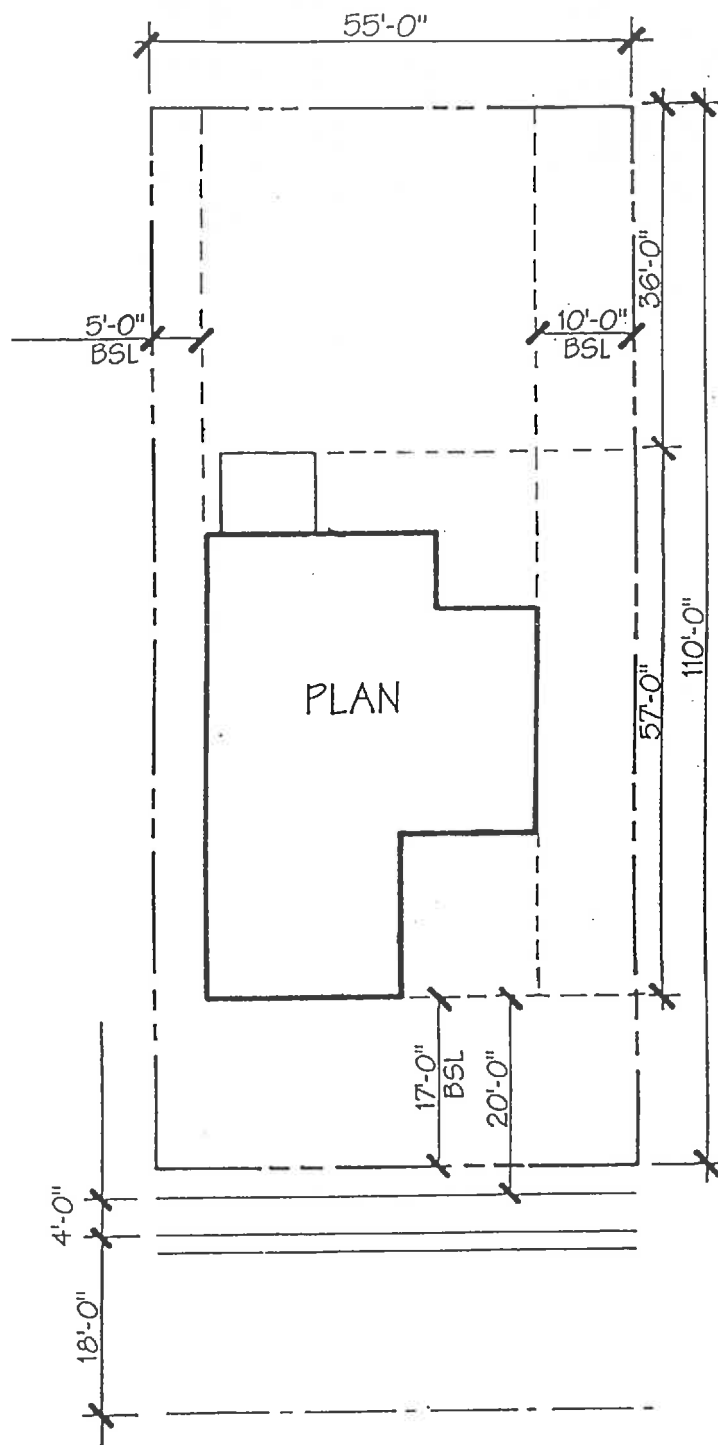
DEVELOPMENT STANDARDS **R1-6 PRD**

- (a) Lot area. The lot shall not be less than fifty-five (55) feet in width or less than one hundred ten (110) feet in depth.
- (b) Lot coverage. The main building and all accessory buildings or structures on a lot shall not occupy more than forty-five percent (45%) of the total lot area.
- (c) Front Yard. Setbacks will vary from a minimum of 17 feet to a maximum of 22 feet with adjacent lots varying at least two (2) feet. In addition, there will be a minimum setback of 20 feet from the sidewalk.
- (d) Side yards:
 - (1) On interior lots, there shall be two side yards, one of which shall be not less than ten (10) feet in width, and the other not less than five (5) feet in width. The fireplace may encroach three (3) feet into either side yard. Bay windows may encroach three (3) feet into the ten (10) foot side yard only. There will be a minimum separation of fifteen (15) feet (excluding encroachments) between buildings on adjacent lots.
 - (2) On a corner lot, a ten (10) foot side yard shall be maintained on the street side of the lot, for the entire depth of the lot. Fireplace and bay window may encroach not more than three (3) feet into the side yard.
- (e) Rear Yard. There shall be a rear yard having a depth of not less than twenty (20) feet. An unenclosed patio cover may encroach no more than three (3) feet into the rear yard.
- (f) Height. No buildings shall exceed a height of two (2) stories or thirty (30) feet.
- (g) Accessory Structures:
 - (1) Buildings, structures, or satellite earth stations less than seven (7) feet shall meet a minimum three (3) foot setback to any side or rear property line, and shall be located behind the side return walls.

OLIVE VILLAS

- (2) Accessory structures exceeding seven (7) feet in height shall meet an additional setback of two (2) feet for each foot over seven (7) feet in height. Maximum accessory building height is fifteen (15) feet.
 - A. Storage shed shall be limited to one (1) per lot provided, however, that such shed shall be located in the side or rear yard of the property, can not be served by any utility, and all drainage therefrom must flow back onto the owner's property.
 - B. Storage sheds shall not be subject to rear and side yard setback requirements and must not exceed six (6) feet in height or be visible from either the public street or adjacent property.
- (h) Maximum wall (fence) height:
 - (1) Side and rear yard walls shall not exceed six (6) feet in height, except that walls adjacent to the commercial district, shall not exceed 8 feet
 - (2) Front yard walls shall not exceed three (3) feet in height.
- (i) Parking. A parking area (driveway) may not exceed thirty (30) feet in width.
- (j) Maximum height of an amateur radio tower is seventy-five (75) feet.
- (k) Any accessory building or structure, unless otherwise permitted, must maintain a minimum of ten (10) feet from the principal building or any other accessory structure.
- (l) All other development standards, unless specifically identified above, shall be consistent with the provisions of the R1-6 Zoning District as identified in the Glendale Zoning Ordinance.

TYPICAL PLOT PLAN



TYPICAL PLOT PLAN



February 22, 1995

Ms. Lynne Lagarde
Earl, Curley & Lagarde
3101 N. Central Avenue, Suite 1090
Phoenix, AZ 85012

RE: Olive Villas (Z-94-18)

Dear Lynne:

On February 14, 1995, the City Council of the City of Glendale voted to approve Rezoning Application Z-94-18. This Rezoning was approved subject to the following stipulations:

1. Development shall be in substantial conformance with the PRD plan for "Olive Villas" dated December 22, 1994.
2. The project shall incorporate an eight-foot perimeter wall adjacent to all commercially zoned property.

These stipulations are part of the permanent file for this case, and are available for public review.

If you have any questions or require additional assistance, please call me at 435-4169.

Sincerely,

A handwritten signature in black ink, appearing to read "Dan Fairbanks", written over a horizontal line.

Daniel Fairbanks, AICP
Planner
Community Development Group

DF/dl

cc: Dwain Hoover

February 22, 1995

Ms. Lynne Lagarde
Earl, Curley & Lagarde
3101 N. Central Avenue, Suite 1090
Phoenix, Arizona 85012

Dear Lynne:

RE: PLANNING COMMISSION APPROVAL OF P-94-13 (Olive Villas)

At the regularly scheduled meeting of January 5, 1995, the Glendale Planning Commission approved the preliminary plat for "Olive Villas" located at 8811 North 45th Avenue. The Planning Commission's approval was subject to the following stipulations:

1. The proposed PRD Plan (Z-94-18) shall be approved by City Council prior to final plat approval. The 15 day preliminary plat appeal period specified by Section 31-151 of the Subdivision and Minor Land Division Ordinance for this Planning Commission action shall begin on the date the City Council approves the PRD Plan.
2. Subdivision infrastructure and improvement plans, including plans for entry features, perimeter walls, and tract landscaping shall be reviewed and approved by staff prior to final plat approval by the City Council.
3. Evidence shall be submitted to the City of Glendale to identify that the existing sewer easement has been abandoned on Lots 4 through 14 prior to staff approval of the infrastructure improvement plans.

The Planning Commission's approval authorizes you and your consultants to prepare and submit improvement plans for this subdivision, including water, sewer, paving, grading and drainage plans, landscape and perimeter wall design plans, and street lighting. However, the 15 day preliminary plat appeal period does not end until March 2, 1995, in accordance with stipulation #1. Should you desire to submit improvement plans, sheet size is 24" x 36". Submittal of a soils report is also required prior to construction. All improvement plans must come in as one complete submittal package, not as individual submittals. Contact Mary Wetenkamp, Development Services Center, at 435-4198 if you or your consultants have any questions regarding this submittal or information on plan review schedules and permit fees.

February 22, 1995
P-94-13
Page 2

The submittal of the final plat application, \$500 final plat filing fee, and six folded copies of the final plat should be included with your improvement plan submittal. I have enclosed a copy of the final plat application form for your convenience.

At a future date, house product plans should be submitted to the Development Services Center for review. Please contact Autumn Hartsoe, Development Services Representative, at 435-4198 if you have any questions regarding the house plan submittal. It is appropriate to submit two copies of the model home complex plan at the time of house product submittal. I have enclosed a copy of the model home complex requirements for your information.

Please contact me at 435-4169 if I can further assist you.

Sincerely,

A handwritten signature in black ink, appearing to read "Dan Fairbanks", with a stylized flourish at the end.

Daniel P. Fairbanks, AICP
Planner
Community Development Group

DPF/dl

Enclosure

cc: Mary Wetenkamp, Senior Development Services Representative
Autumn Hartsoe, Development Services Representative
Dwain Hoover