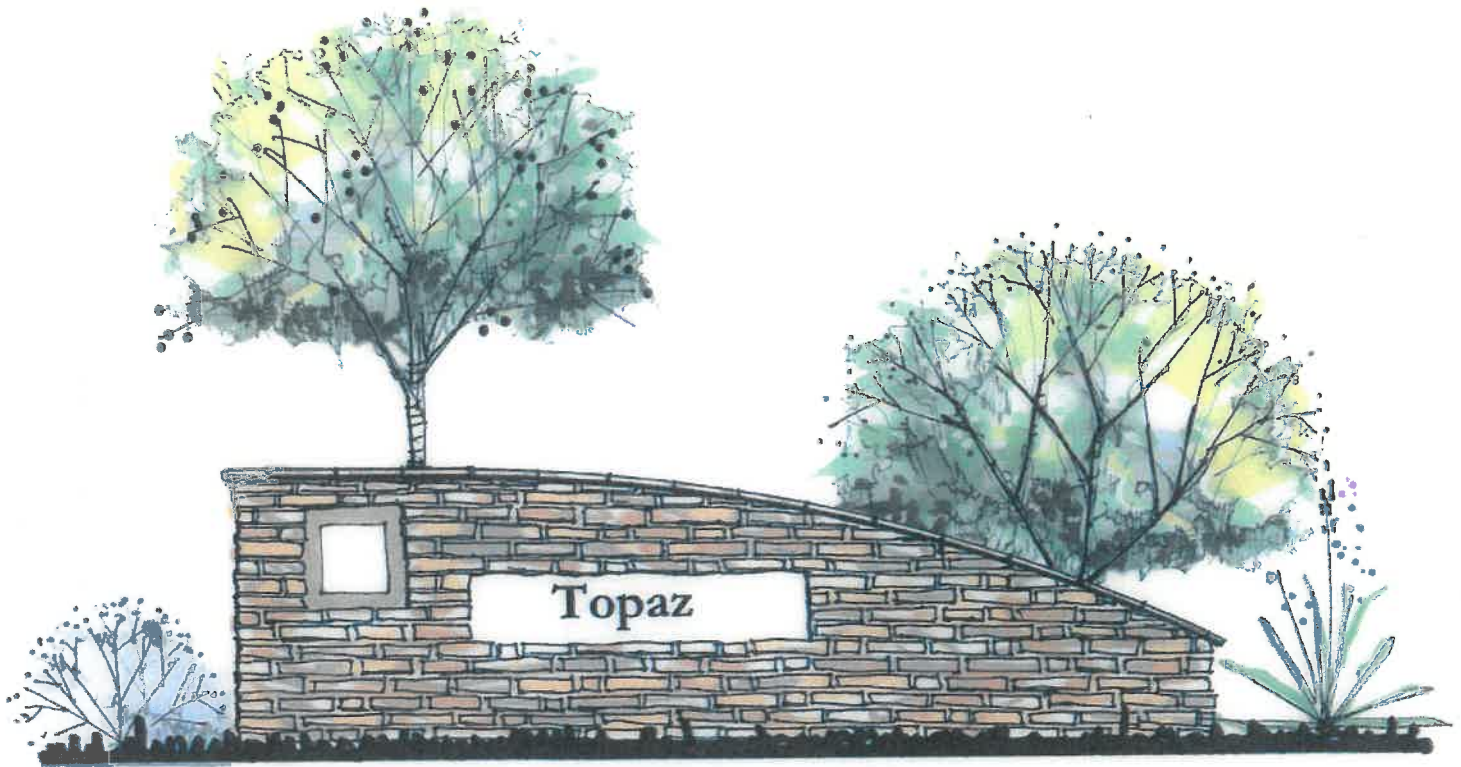


A PLANNED RESIDENTIAL DEVELOPMENT

Z-02-33

November 22, 2002
Revised: March 19, 2003
Revised: May 5, 2003



TOPAZ

A SR-17 Planned Residential Development
31 Units on 19.94 Gross Acres

8012 West Oranewood Avenue
Glendale, Arizona

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TOPAZ PLANNED RESIDENTIAL DEVELOPMENT

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FP 03-07
PP 02-08

TOPAZ PLANNED RESIDENTIAL DEVELOPMENT

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INTRODUCTION

Topaz will continue the current trend of upscale master planned communities in the City of Glendale. The project, comprised of large lots, offers a high quality of living for persons desiring single-family detached homes within a small, upscale neighborhood environment. The Development Plan includes 31 premium lots averaging over 19,700 square feet in size, with the majority of the lots having a north/south orientation and/or cul-de-sac frontage. The neighborhood will be gated to provide the added security and prestige desired by future residents. Additional amenities include perimeter theme walls, an entry feature and high quality landscaping.

Location

Topaz is proposed as a Planned Residential Development located east of 83rd Avenue between Orangewood and Northern Avenues on land that is presently vacant except for a small residence, some mobile home trailers and three storage sheds. (See **Exhibit A**) The property has recently been annexed into the City of Glendale from Maricopa County. The surrounding area is in transition from agricultural uses to urban use. The adjacent zoning includes the following:

North: R1-6 zoning within Maricopa County with agricultural land uses and a few single-family homes.

East: R1-6 and R1-10 zoning within Maricopa County with vacant parcels and a few single-family homes.

South: R1-6 zoning in the County and SR-17 zoning within the City of Glendale with primarily single family homes and agricultural uses. West Glenn Estates, a single-family residential neighborhood with City of Glendale R1-8 zoning, is located southwest of the property. Orangewood West, a single-family residential neighborhood with City of Glendale SR-17 zoning, is located just southeast of the property.

West: R1-6, and R1-18 zoning in the County and proposed SR-17 PRD in the City of Glendale with single-family homes. Casa De Ensueño, a single-family residential neighborhood with City of Glendale SR-17 PRD zoning, is proposed for the vacant parcel directly to the West.

Buffering/Integration with Surrounding Area

Topaz is located adjacent to residential development, vacant land and agricultural uses (See **Exhibit B**). At the northern edge of this property (at the southwest corner of Northern and 79th Avenue) are several 2 ½ to 5-acre parcels within Maricopa County. These parcels are typical of historical lot split residential development. A perimeter wall will serve as a buffer as well as providing a unifying element for the overall project.

In order to buffer Topaz from adjacent properties to the east, a creative street and lot layout has been designed along the east side of the property which provides a side lot condition rather than the typical back-on solution. This has greatly reduced the number of lots adjacent to this property line. The typical backing situation would have placed as many as 10 lots with a rear orientation to this common property line. However, the proposed design places only 4 lots along the east

property boundary, all of which side on the common property line. The looped and non-loaded streets provide even more distance between the new homes and the existing County properties.

Careful attention to buffering has also been paid to the southern edge of the property, where a minimum 30-foot landscape buffer has been provided between back of lots and Orangewood Avenue. We have chosen to exceed the 20-foot minimum requirement in order to provide a larger and more useful landscape buffer.

Future development west of 80th Avenue (western boundary of Topaz) will be another SR-17 Planned Residential Development. The northwest portion of Topaz contains a large open space area that will help buffer this future development to the west.

GENERAL PLAN CONFORMANCE

The current General Plan classification for this property, Low Density Residential (0-2.5 dwelling units per acre), is shown on **Exhibit C**. The proposed density of 1.6 meets the requirements of the City of Glendale General Plan. We are pleased to be submitting a Development Plan that is consistent with Glendale's long-term vision for this area.

Impact of Residential Use of the Site

The proposed 1.6 single family residential dwelling units per acre of Topaz is compatible with the 1.0 to 2.5 single family dwelling units per acre on all adjacent properties.

PRD DEVELOPMENT PLAN

Topaz is currently zoned SR-17 PRD within the City of Glendale. (See **Exhibit D**) This PRD amendment seeks to co-ordinate all aspects of development as a cohesive unit to create variety, unique character and a distinct sense of place. This PRD proposal is designed to "fill" the empty PRD designation created by the annexation from Maricopa County which became effective on February 27, 2003 and seeks to include specific development standards and a development master plan which will:

- Promote innovative and creative planning by providing flexibility in design.
- Encourage a street system that will result in a more pleasing living environment and add to the overall character of development.
- Create a neighborhood that has unique character, special identity and a sense of place.

SITE DATA

**Proposed Land Use Table
TOPAZ**

Net Net Residential	14.05 AC	
Tract A (Private Street)	3.02 AC	
Collector R.O.W.	0.61 AC	
Open Space	2.26 AC	(11.3%)
Project Total (Gross)	19.94 AC	

PROJECT DESIGN

Topaz has been designed to provide high quality living that is safe, marketable and sustainable over time. (See **Exhibit E**) Careful attention has been paid to designing a development that is characterized by variety and offers a distinct sense of place.

Topaz is served with vehicular access to one perimeter collector street – Orangewood Avenue. At this access point there will be an entry feature, located outside of the right-of-way, with monumentation and enhanced landscaping. The internal street system is a combination of short blocks, cul-de-sacs and knuckles. This street layout allows for predominantly north/south oriented lots and many premium cul-de-sac lots.

This low-density planned residential neighborhood will feature an agrarian theme with lush landscaping, quality walls and a gated entry feature. Open space has been incorporated into the design of Topaz in many forms, such as: retention areas, a buffer along Orangewood Avenue and a buffer from adjacent residential uses. Theme walls will unify the whole project while reflecting elegance and permanence.

Development Schedule

Topaz is envisioned as a single phased project.

PROJECT HOMES

The homes offered within Topaz will include one and two-story plans that exhibit high quality with a unifying design theme. Complementary house elevations, architectural details and colors will create an overall design theme. A variety of roof configurations and forms including hip and gable will be offered with various elevations to further enhance architectural design variation and diversity.

Each home shall include the following:

1. Stucco exterior
2. Covered rear patio integrated into the design of the home. Patio covers will have stucco columns and tile roofs or flat roofs with parapets
3. Ground mounted AC units
4. Concrete tile roofs.
5. Stucco accents and window treatments on all elevations
6. Dual pane windows
7. Sectional metal roll-up garage door with raised paneling
8. Enhanced exterior light fixtures at front entrance door and on garage doors
9. Metal flashing, vents, pipes electrical panels and other exposed metal painted to match the color of the house
10. Boxed fireplace chimneys to avoid metal flumes

PLANNED DEVELOPMENT GUIDELINES

Topaz is proposed to develop under the PRD overlay-zoning district and is subject to review through the Planned Development Guidelines as part of the Single Family Residential Design Guidelines, July 1999. All Standard Subdivision Design Guidelines have been met and modified in the form of this PRD request.

Topaz exceeds the Lot Size guidelines for a PRD in all aspects. The guidelines allow up to 20% of the lots to have a lot area less than the minimum required by the underlying zoning district. The proposed lots in Topaz are all 2000 square feet larger than the minimum required. Furthermore, there has been no transfer of lot area to common open space, which is allowed within the guidelines. The guidelines also require that the average lot area for all lots within the PRD shall be at least 500 square feet greater than the minimum lot area required by the underlying zoning district. The average lot size within Topaz is more than 2000 square feet larger than required by the zoning district.

The following is a list of the Planned Development Guidelines for PRD projects and how each guideline relates specifically to the design of Topaz. Since all lots in the development are larger than 10,000 square feet, most of the guidelines are optional rather than required.

Lot Layout and Setbacks

Planned Development Guidelines – NONE REQUIRED

√ Indicates selected options.

#	Guidelines	PRD Justification
1.	Vary the width of lots that are side by side by 5' or more.	Because the lot sizes exceed the minimum lot area of 17,000 square feet, this option has not been chosen. Standard SR-17 zoning requires 105' lot width. Topaz is proposing a minimum of 108' in width.
2.	Stagger front yard setbacks by 3' or more on adjoining lots and provide a range of 6' or more on the same block.	Due to the large lot size and large front setback, we feel a front yard stagger will not be necessary and that variation in house product will create the same desired result.
3.	Provide variation in the width of side yards and the separation between houses.	Because of the nature of these lots and the variety of home sizes provided, there will naturally be a variation in side yard separation. Home placement on each individual lot will add to the street scene variation.
4.	Provide minimum 15' side yards for two-story houses.	Because of the large size of these lots and the variety of home sizes provided, we do not feel the need to utilize this option.
5. √	Provide a minimum 30' rear yard setback for two-story houses.	A 30' rear yard setback has been proposed.
6.	Widen corner lots by 10' or more than the interior lots on the same block.	We have chosen not to utilize this design feature due to the large size of the proposed lots.
7.	Orient the house at an angle within the building envelope on corner lots.	We are not proposing to utilize this design option.
8.	Stagger rear setbacks where a row of lots backs to an arterial or collector street.	Due to the large lot size and resultant diversity in housing product, this stagger will naturally occur.
9.	Vary the depth of perimeter lots to provide for variation in perimeter wall alignments.	Adjacent to Orangewood Avenue, lot depths vary to provide variation in the theme wall alignment, creating greater visual interest along the collector.
10.	Provide a difference of at least 2,000 square feet between the minimum lot size of two or more parcels in a multi-parcel development.	Topaz is a single parcel development and therefore this design guideline does not apply.

Streets

Planned Development Guidelines – NONE REQUIRED

√ Indicates selected options.

#	Guidelines	PRD Justification
1.	Provide an enhanced curvilinear street system.	The size and shape of the parcel does not allow for a curvilinear street layout. However an efficient street system utilizing short blocks, cul-de-sacs and knuckles has been proposed which will allow more north / south lot orientation.
2.	Provide minimum 6' wide landscape tracts at the end of blocks.	Due to the large lot size and overall low density of the project, we feel these small tracts would not be a significant addition to the overall neighborhood.
3. √	Open streets and cul-de-sacs to common open space.	Cul-de-sacs and open space tracts have been strategically placed to create views, interest and access to the overall open space network.
4.	Provide local streets with detached sidewalks and street trees.	This development is proposing private streets with no sidewalks in order to emphasize the large lot design concept.
5.	Provide landscape islands with prominent landscaping in cul-de-sacs.	The neighborhood entrance will include a landscaped median to provide the intended appearance at the most important location. Cul-de-sacs are proposed to provide a landscaped median island to provide a focal point and increase the upscale quality statement made by Topaz.
6.	Provide enhanced traffic calming devices when needed.	Since the street layout is comprised of many short length blocks, no traffic calming devices are needed.
7.	Provide collector streets with landscaped medians detached sidewalks and enhanced landscaping to create a boulevard effect.	The property is adjacent to a collector street, which provides access to the development. However, the project is of such a small scale, that all interior streets will be 50-foot private streets.

Perimeter Improvements

Planned Development Guidelines – **NONE REQUIRED**

√ Indicates selected options.

#	Guidelines	PRD Justification
1. √	Provide enhanced entrances from arterial and collector streets.	There will be an entry feature that will provide access to the project from Orangewood. This entry feature will emphasize the overall theme through the use of monument signage, distinctive wall details and enhanced landscaping.
2. √	Provide enhanced perimeter theme walls along arterial and collector streets.	The perimeter theme wall will add to the overall upscale character of the development through the use of block construction with a stucco sand finish, stone veneer bases and wall insets.
3. √	Provide distinctive horizontal and vertical relief in perimeter walls adjacent to streets.	As part of the overall theme, the walls will have an architectural flare that will compliment the entry monument. Vertical and horizontal relief is provided in the form of wall insets, stone veneer and pre-cast caps.
4. √	Provide a landscape tract between the street right-of-way and the perimeter wall.	A landscape tract, with a minimum width of 30', will be provided adjacent to Orangewood Avenue. This landscape tract will vary in width up to 50 feet. The perimeter wall will undulate to enhance the Orangewood streetscene. We have chosen to provide a larger buffer than the minimum 20 foot required.

Open Space and Amenities

Planned Development Guidelines – **NONE REQUIRED**

√ Indicates selected options.

#	Guidelines	PRD Justification
1.	Provide retention areas that meander through the subdivision as a green belt instead of a single rectangular basin.	The basin was designed to be irregular in shape and the edge treatment is varied by using a combination of knuckles, cul-de-sacs and lots which back or side onto that open space. This allows for a wide variety of adjacent treatments as well as providing for multiple access points.
2. √	Provide landscaped open spaces visible from arterial street view as well as from residential street view.	Landscaped open spaces are visible from the perimeter collector as well as the residential streets through a variety of treatments such as view fences, corridors and placement of open space directly adjacent to these streets.
3.	Provide useable common open space that is centrally located and improved with recreational facilities.	Because of the large lot size, rear yards will provide ample space for outdoor and recreational areas. No common recreational facilities are proposed for this large lot development.
4.	Provide an internal pathway system.	No pathway or trail system has been designed into the project due to its small size.
5.	Provide amenities such as golf courses and lakes.	This project is not large enough to accommodate lakes or a golf course.

House Products

Planned Development Guidelines – 4 REQUIRED (1, 2, 8 AND 9)

√ Indicates selected options.

#	Guidelines	PRD Justification
1. √	Provide distinctive architectural details on front elevations.	Architectural features such as pronounced pop-outs, covered front porches, articulated walls, enhanced eave and fascia details, tile or decorative insets, recessed windows and enhanced exterior light fixtures will be offered.
2. √	Provide significant architectural differences in the choice of elevations offered for each floor plan.	A variety of architectural styles, roof forms and house colors will be offered to provide individuality, while complementing the overall project theme.
3.	Locate houses with different front elevations on adjoining lots.	Many elevation options will be provided for the homeowner.
4.	Provide distinctive architectural detailing on the rear elevation of houses backing onto arterial and collector streets and common areas.	Houses backing onto Orangewood Avenue, as well as all homes in the development, will carry the architectural treatments on the front of the house around to the rear elevation.
5.	Locate houses with different rear elevations on adjoining lots backing onto arterial and collector streets and common areas.	Many elevation options will be provided for the homeowner.
6.	Provide a variety of roof forms and ridge lines on houses backing onto arterial and collector streets and common areas.	We assume a variety of roof forms and materials will be offered.
7.	De-emphasize garage fronts as the most prominent feature on front elevations.	We assume a variety of garage options will be available including side entry garages, standard garages and split entry garages.
8. √	Provide covered rear patios which match the architecture of the house.	Attached patio covers with stucco columns and tile roofs or flat roofs with parapets will be offered as a design option.
9. √	Incorporate a variety of durable exterior materials and finishes.	Stone, brick and textured masonry will be used in addition to stucco to provide a variety of exterior finishes.
10.	Provide a variety of roof colors and textures.	We assume there will be multiple roof styles, colors and textures for the homebuyer to choose from.
11.	Provide a variety of front yard landscaping packages.	On larger lot developments, landscape packages are not usually offered because the homeowners prefer to individualize their own home.
12.	Provide enhanced decorative return walls on individual lots.	Return walls on individual lots will be constructed of upgraded materials.

Development Standards

(See Exhibit F)

Topaz contains 31 lots within a SR-17 Zoning District. The development standards for this project have been designed to create the flexibility necessary to build a neighborhood with distinct character. These development standards will cite the minimum requirements; however, the design of the neighborhood will be prepared in a manner that will create the opportunity for variation in the minimum setbacks.

PRD Comparison

SR-17 Comparison

The density for this development will be 1.6 dwelling units per acre resulting in 31 total dwelling units. The minimum lot size will be 18,800 square feet.

SR-17 PRD Comparison	Proposed SR-17 PRD Standards *	SR-17 Standards
Minimum Lot Area	18,800	17,000
Minimum Lot Width	108'	110'
Minimum Lot Depth	160'	130'
Front Yard	25' ⁽¹⁾	25'
Rear Yard	30'	30'
Side Yard – Minimum	10' & 10'	15'
Side Yard – Street Side	15'	15'
Maximum Structure Height	30'	30'
Maximum Lot Coverage	40%	30%

Notes:

⁽¹⁾ From the property line to the face of the garage door – this equates to 20 feet from the property line to the living area or side entry garage.

* Lots 9, 10 and 31 are considered irregular lots. Although these lots meet the minimum proposed requirements, the definition of what constitutes front, side and rear lot lines will be unique to this project. The front lot lines for these three lots will be perpendicular to the side lot line where it meets the right of way. (See Exhibit F-1)

Building Height: Homes shall be limited to a maximum of two-stories or thirty (30) feet with no roof-mounted equipment permitted.

Setbacks: The relationship between the homes and the street is critical in differentiating this development from the typical single-family subdivision. Reduced setbacks have been proposed to encourage more flexibility in design and the ability to create an interesting residential street scene.

Irregular Lots: A variety of lot configurations have been designed into the lotting through the use of cul-de-sacs and knuckles. In specific situations, some lot shapes are non-radial to avoid streetscape uniformity and help create variety and interest. There are a total of 3 irregular lots – lot numbers 9, 10 and 31.

Accessory Buildings: Accessory structures shall not exceed 20 feet in height. Buildings less than 7 feet high, unless otherwise permitted, shall maintain a minimum of 3 feet to a side or rear property line. For each foot over 7 feet in height, the setback for that portion of the building

height over 7 feet in height shall be increased by one foot. A 10-foot minimum setback from the principal building or any other accessory structure will be maintained. Fireplaces may encroach into the front, side, and rear setbacks a maximum of 2-1/2 feet. Bay windows may encroach into front, side, and rear setbacks a maximum of 2-1/2 feet for a distance not to exceed 10 feet on any building elevations.

Guideline Requirements

Careful attention has been given to the five basic design elements; Open Space and Amenities, Perimeter Improvements, Streets, Lot Layout and Setbacks, and Lot Size. The requirements outlined in the Single Family Residential Guidelines have been met.

LANDSCAPE, ENTRY FEATURE, AND PERIMETER WALLS

The landscape concept of Topaz utilizes a plant palette, materials and architectural details that will compliment the overall agrarian theme of the project. (See **Exhibit G**) All plant materials throughout the project will be chosen for their qualities of lushness and color capabilities.

The project will have a very green and formal garden/country feeling and plants commonly associated with the desert will not be used. The interior open spaces will be planted with a combination of shade trees, shrubs, accents and turf.

Access to Topaz from Orangewood Avenue is emphasized with an entry feature, located outside of the right-of-way, containing monumentation and enhanced landscaping. (See **Exhibit H**) The idea is to give the project a gated entry with a casual and elegant design. The entry gate, wall and signage will utilize a cohesive theme of stone, wrought iron and smooth, sloping forms. The landscape plan for Orangewood Avenue will match the streetscape standard for the streets currently in use by the City of Glendale.

Wall design along the streets will be simple and reflect the patterns and forms on the entry feature and gates. Sand finish stucco walls including columns with pre-cast caps and stone veneer columns will be set in an appropriate cadence. (See **Exhibit I**) All walls will be painted, stained or treated with a protective finish to allow for easy graffiti removal. The color shall be earth tone and complement the stone columns.

Landscape Maintenance Responsibilities

The Covenant Conditions and Restrictions (CC&R's) for Topaz will identify that the Topaz Homeowners Association (HOA) will own and maintain the entry feature, private streets, retention areas, landscaping within all open space tracts and decorative perimeter walls. The CC&R's will restrict the use of the single-family lots to the uses permitted by the City of Glendale Zoning Ordinance and the Topaz PRD narrative as approved by the Glendale City Council.

GRADING AND DRAINAGE CONCEPT

The site currently consists of an undeveloped lot draining to the southwest at an average slope of 0.4 percent. The subject site lies within the drainage area encompassed by the Maryvale Area Drainage Master Study (ADMS) prepared by CH2M Hill and Wood, Patel & Associates, Inc. for the Flood Control District of Maricopa County. According to the ADMS, a 100 year-6 hour flow of 410 cfs is conveyed southerly within Orangewood Avenue adjacent to the site.

Runoff from the interior of the site will be conveyed by interior streets to a retention basin within Tract "D" along the west edge of the site. (See **Exhibit J**) Runoff from the interior streets will be removed by scuppers. Runoff from Orangewood Avenue will be conveyed to a retention basin located within Tract "B" at the southwest corner of the site. Both retention basins will be sized to retain runoff generated by the 100-year, 2-hour storm. Finish floors of lots adjacent to Orangewood Avenue will be set a minimum of 1' above the water surface in the roadway.

PUBLIC IMPROVEMENTS

Water and Waste Water

(See **Exhibit K**)

The City of Glendale has an existing 8" water main located within the right of way of Orangewood Avenue, approximately 14 feet south of the monument line. Additional 8" water mains will be constructed within the interior streets that will properly service the proposed development to meet the domestic and fire demands. The interior system will be looped through the proposed subdivision of Casa De Ensueño, located west of our development, to the existing 12" water main located within 83rd Avenue.

The City of Glendale has an existing 21" sewer main located within the right of way of 83rd Avenue, approximately 22 feet west of the monument line and approximately 18 feet deep. An 8" sewer main will be constructed through the proposed Casa De Ensueño subdivision, which will be used to serve this development. Additional 8" sewer mains will be constructed within the internal streets that will properly service this development to meet the domestic demands.

Effluent

An existing effluent line in Glendale Avenue ends just east of the Agua Fria Freeway, Loop 101. At this time the City of Glendale does not have a policy in place or a master layout defining the location, size or provisions for a line extension to the East. There is no intent to utilize effluent at this time.

Circulation

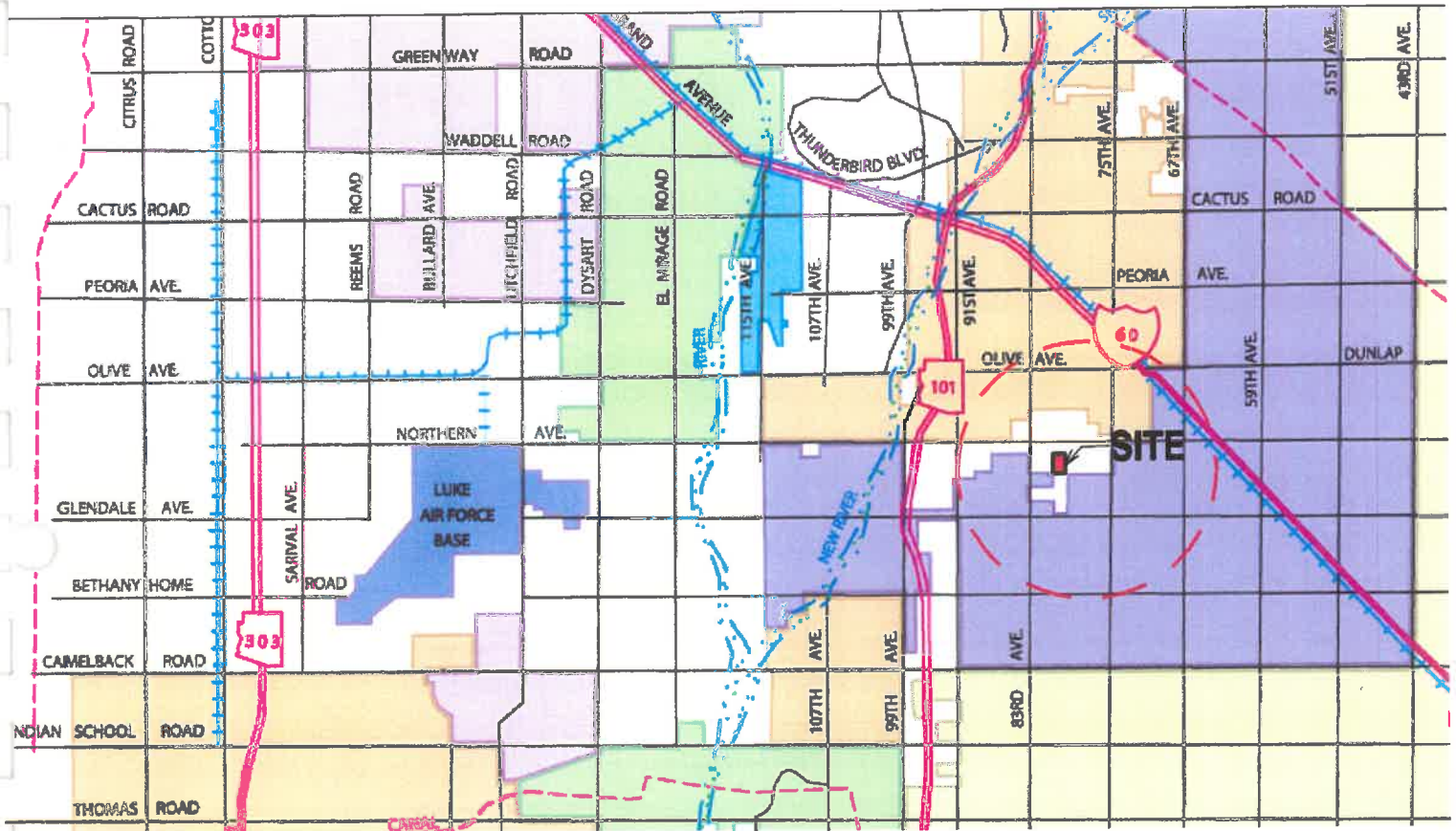
Topaz is bordered by one collector road to the south, Orangewood Avenue. Half street improvements adjacent to the property will be provided for this road. (See **Exhibit L**) Access to the subdivision will be taken from the gated entry along Orangewood Avenue. A pre-emption device for emergency access will be installed at the gate. The narrower street will promote slower driving speeds, increasing overall safety.

PRD REQUIRED FINDINGS

1. This PRD presents a residential neighborhood, comprised of large lots, that offers a high quality of living for persons wanting single family detached homes within a small, upscale, gated, Master Planned environment.
2. This PRD is consistent with the current City of Glendale General Plan. The proposed single-family density of 1.6 dwelling units per acre is within the requirements of the proposed land use designation of Low Density Residential (0 – 2.5 du/ac).
3. This PRD meets the objective of the Single Family Residential Design Guidelines to provide a higher standard of subdivision design through sustainable, marketable, quality development.

The proposed PRD request for Topaz meets the intent, purpose and requirements of the PRD overlay zoning district. We are pleased to have the opportunity to propose a project of such high caliber within the City of Glendale.

TOPAZ VICINITY MAP



N.T.S.



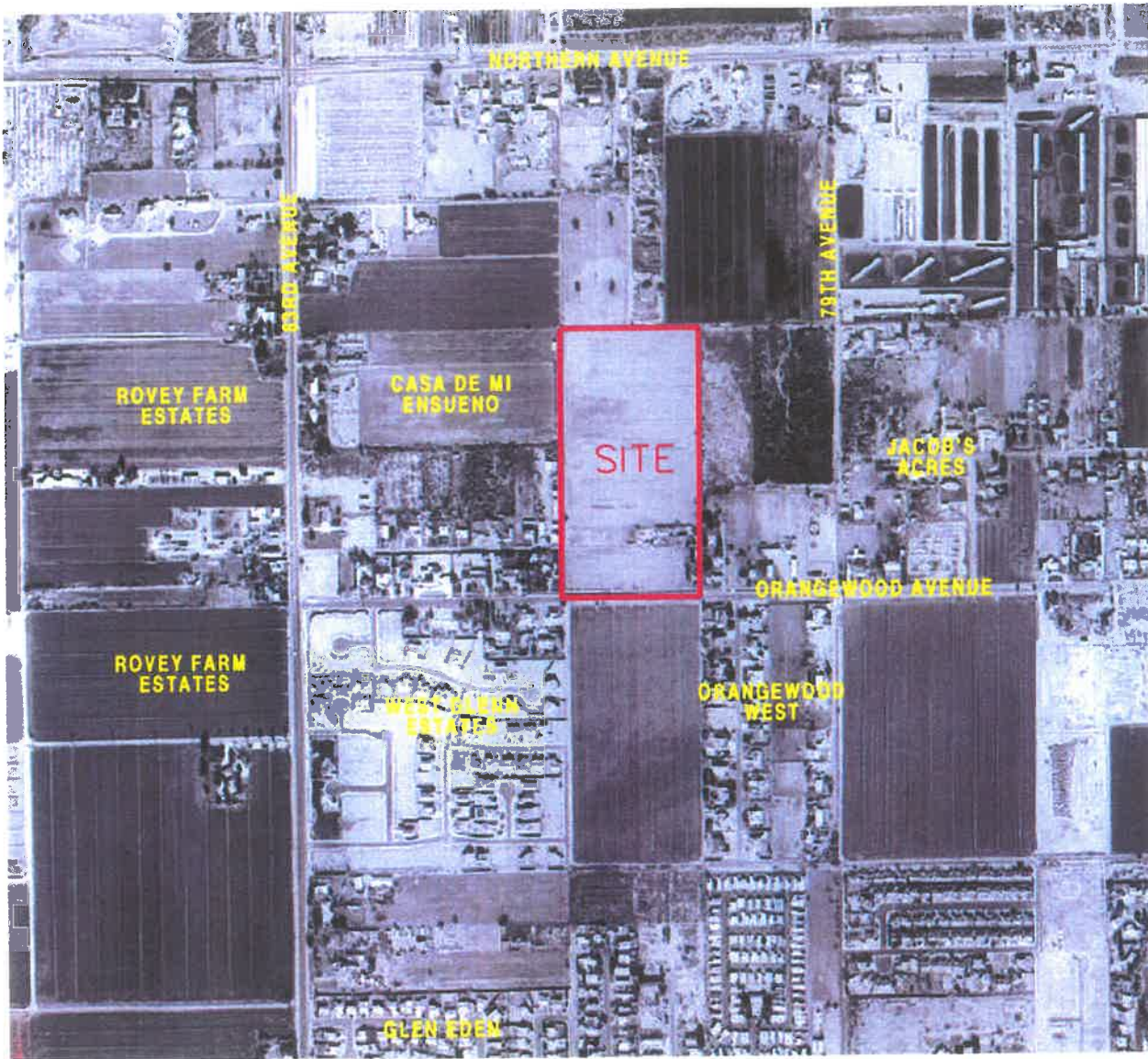
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TOPAZ VICINITY MAP

CVL # 020104
DATE: 11-20-2002
REVISED: 3-19-2003
REVISED: 5-05-2003

**EXHIBIT
A**

TOPAZ AERIAL EXHIBIT



N.T.S.



CVL

TOPAZ AERIAL EXHIBIT

CVL # 020104
DATE: 11-20-2002
REVISED: 3-19-2003
REVISED: 5-05-2003

EXHIBIT
B

TOPAZ GLENDALE GENERAL PLAN



LEGEND

- LDR=** LOW DENSITY RESIDENTIAL (0-2.5 DU/AC)
SUB-DESIGNATIONS;
0 TO 1 DU/AC
1 TO 2.5 DU/AC
- MDR=** MEDIUM DENSITY RESIDENTIAL (2.5-5 DU/AC)
SUB-DESIGNATIONS;
2.5 TO 3.5 DU/AC
3.5 TO 5.0 DU/AC
- MHDR=** MEDIUM-HIGH DENSITY RESIDENTIAL (5-12 DU/AC)
SUB-DESIGNATIONS;
5 TO 8 DU/AC
8 TO 12 DU/AC
- HDR=** HIGH DENSITY RESIDENTIAL (12-30 DU/AC)
SUB-DESIGNATIONS;
12 TO 20 DU/AC
20 TO 30 DU/AC
- BP=** BUSINESS PARK

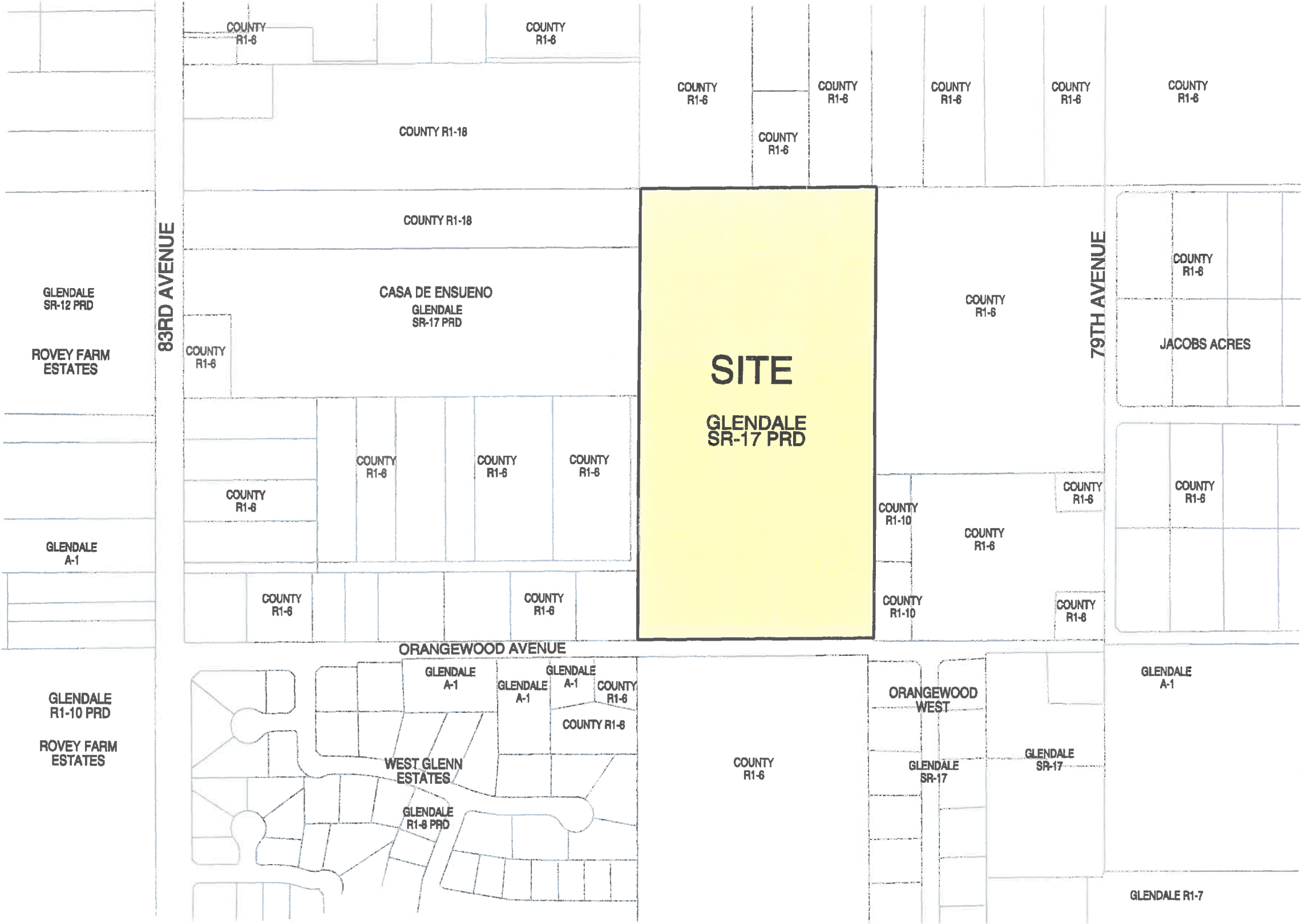


TOPAZ GLENDALE GENERAL PLAN

CVL # 020104
DATE: 11-20-2002
REVISED: 3-18-2003
REVISED: 5-05-2003

EXHIBIT
C

TOPAZ EXISTING ZONING



ZONING DATA

ZONING GATEGORY	ACREAGE
CITY OF GLENDALE SR-17 PRD	19.94 AC

N.T.S.

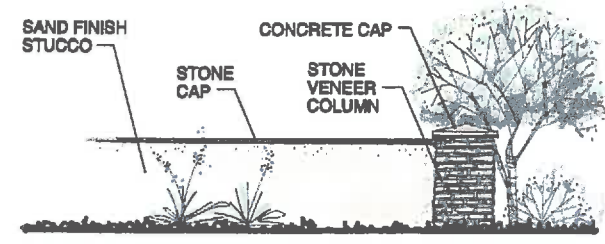
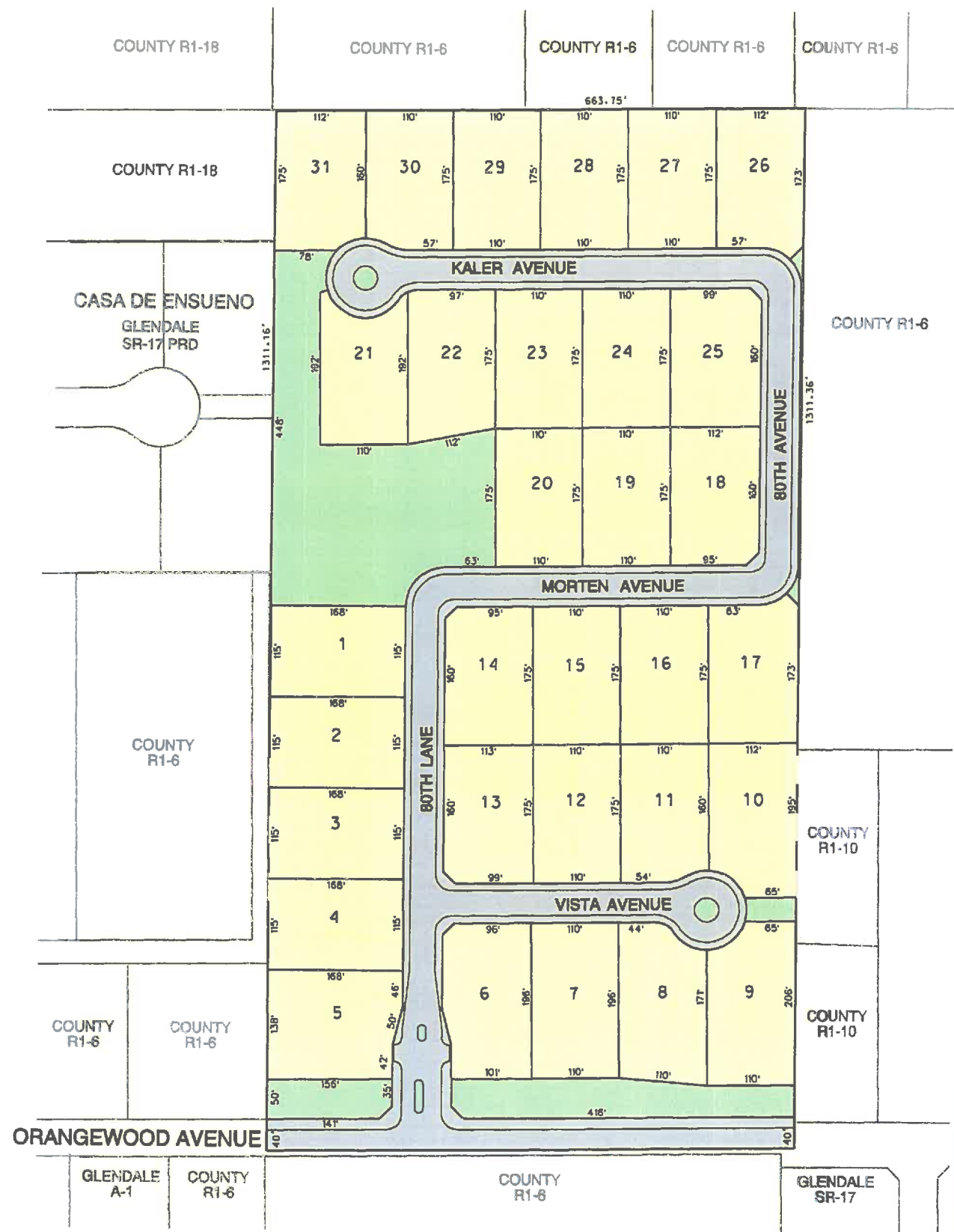


TOPAZ EXISTING ZONING

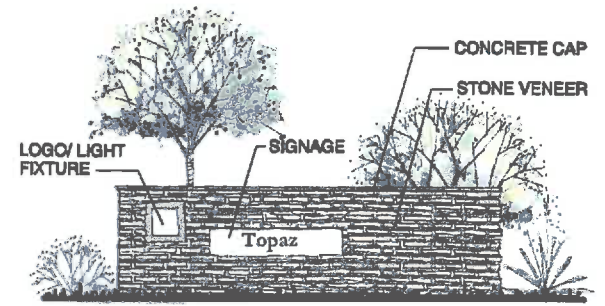
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REVISED: 3-19-2003
REVISED: 5-05-2003

EXHIBIT
D

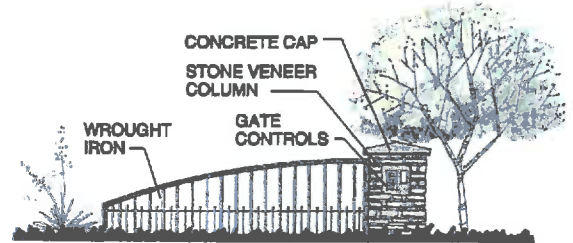
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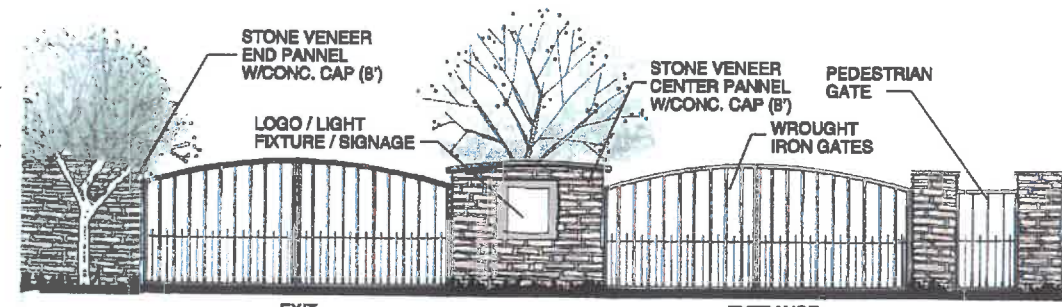
6' THEME WALL
N.T.S.



ENTRY MONUMENT
N.T.S.



CALL BOX / CARD READER
N.T.S.



ENTRY GATES
N.T.S.

TOPAZ PRD PLAN

SITE DATA

GROSS AREA	19.94 AC
YIELD	31 DU
LOT SIZE	110' X 160'
GROSS DENSITY	1.6 DU/AC

Trees

PLANT LIST

Trees

Acacia salicina	Willow Acacia
Delbergia elaeagnifolia	Sissoo
Sophora secundiflora	Texas Mountain Laurel
Ulmus parvifolia	Evergreen Elm 'True Green'

Shrubs

Bougainvillea sp.	'Barbara Karst'
Cassipoula mexicana	Mexican Bird of Paradise
Calliandra californica	Baja Fairy Duster
Convolvulus cneorum	Silver Bush
Dalea Versicolor var. sessilis	'Mountain Delight'
Dodonea viscosa	Hopbush
Eremophila sp. 'Valentine'	Valentine Bush
Leucophyllum langmaniae	'Rio Bravo'
Muhlenbergia ripens	'Regal Mist' Deer Grass
Ruellia brittoniana	Blue Ruella
Justicia spicagera	Mexican Honeysuckle
Tecoma stans	'Orange Jubilee'

Accents

Dasylirion wheeleri	Desert Spoon
Hesperaloe parviflora	Red Yucca

Groundcovers

Acacia redolens 'Desert Carpet'	Prostrate Acacia
Dalea greggii	Trailing Indigo Bush
Gazania leucolana	Trailing Gazania
Lantana sp.	Trailing Lantana
Cynodon dactylon	Hybrid Bermuda Grass



N.T.S.



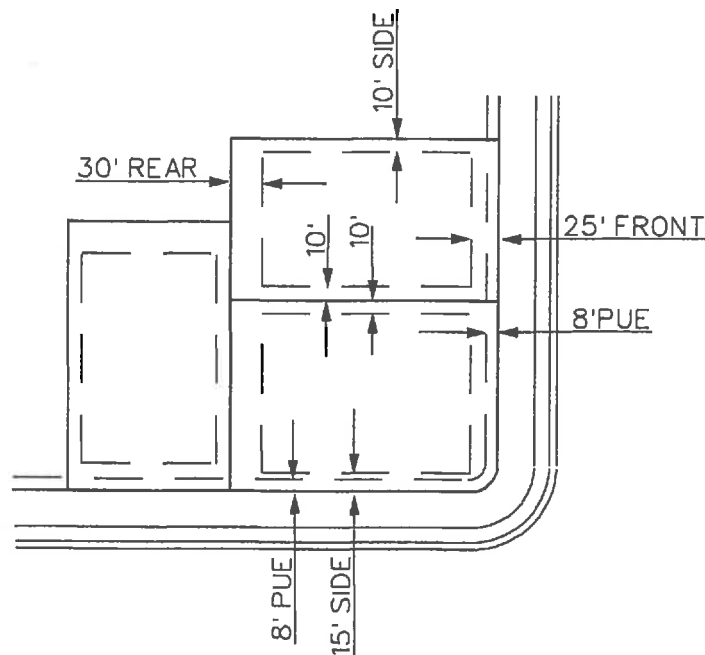
Clouse Engineering, Inc.
ENGINEERS & SURVEYORS
1642 E. Orangewood Ave. Phoenix, Arizona 85020
Tel 602-395-9300 Fax 602-395-9310

TOPAZ PRD PLAN

CVL # 020104
DATE: 11-20-2002
REVISED: 3-19-03
REVISED: 5-05-2003

EXHIBIT E

TOPAZ TYPICAL LOT SETBACKS



SR-17 TYPICAL LOT DETAIL

SETBACKS

FRONT	25'	(1)
REAR	30'	
SIDE	10' & 10'	
STREETSIDE	15'	

- (1) FROM PROPERTY LINE TO FACE OF GARAGE DOOR, WHICH EQUATES TO 20 FEET FROM PROPERTY LINE TO LIVING AREA OR SIDE ENTRY GARAGE.

N.T.S.



CVL

TOPAZ TYPICAL LOT SETBACKS

CVL # 020104
DATE: 11-20-2002
REVISED: 3-19-2003
REVISED: 5-05-2003

EXHIBIT
F

REAR LOT

112'

30'

10'SIDE
B.S.L.

175'

31

19,313 sq.ft.
0.4434 acres

25'

FRONT

78'

FRONT LOT

110'

10'SIDE
B.S.L.

160'

57'

30

18,855 sq.ft.
0.4328 acres

175'

29

19,250 sq.ft.
0.4419 acres

97'

192'

112'

175'

21

18,950 sq.ft.
0.4350 acres

22

20,337 sq.ft.
0.4669 acres

The map shows 13 lots arranged in a grid. Lots 10 and 9 are designated as 'REAR LOTS' and are outlined with dashed lines. Lot 10 is 20,514 sq. ft. (0.4709 acres) and Lot 9 is 21,715 sq. ft. (0.4985 acres). Other lots include Lot 13 (19,706 sq. ft.), Lot 12 (19,250 sq. ft.), Lot 11 (18,813 sq. ft.), Lot 8 (20,872 sq. ft.), Lot 7 (21,582 sq. ft.), and Lot 6 (21,097 sq. ft.). The map includes various boundary measurements such as 110', 175', 112', 30', 10', 160', 54', 65', 44', 196', 171', 206', 110', 30', 661.29' (M), and 889° 18' 08" E (M). A circular feature is located between lots 11 and 8. A north arrow is present in the bottom right corner.

0' 25' 100' 200'

SCALE: 1" = 100'

NORTH



CVL # 020104
DATE: 11-20-2002
REVISED: 3-19-2003
REVISED: 5-05-2003

**EXHIBIT
F-1**

TOPAZ LANDSCAPE PLAN

PLANT LIST

Trees

Acacia salicina	Willow Acacia
Delbergia elaeagnifolia	Sissoo
Sophora secundiflora	Texas Mountain Laurel
Ulmus parvifolia	Evergreen Elm 'True Green'

Shrubs

Bougainvillea sp.	'Barbara Karst'
Cassia alba	Mexican Bird of Paradise
Calliandra californica	Baja Fairy Duster
Convolvulus creorum	Silver Bush
Delia versicolor var. acaulis	'Mountain Delight'
Dodaea viscosa	Hopbush
Eremophila sp. 'Valentine'	Valentine Bush
Leucophyllum leucanthes	'Rio Bravo'
Muhlenbergia rigens	'Pajaro Mist' Deer Grass
Ruellia brittoniana	Blue Ruella
Justicia spicagera	Mexican Honeysuckle
Tecoma stans	'Orange Jubilee'

Accents

Desert Yucca	Desert Spoon
Hebe pinnatifida	Red Yucca

Groundcovers

Acacia reticulata 'Desert Carpet'	Prostrate Acacia
Delia greggii	Trailing Indigo bush
Gazania leucoloma	Trailing Gazania
Lantana sp.	Trailing Lantana
Cynodon dactylon	Hybrid Bermuda grass

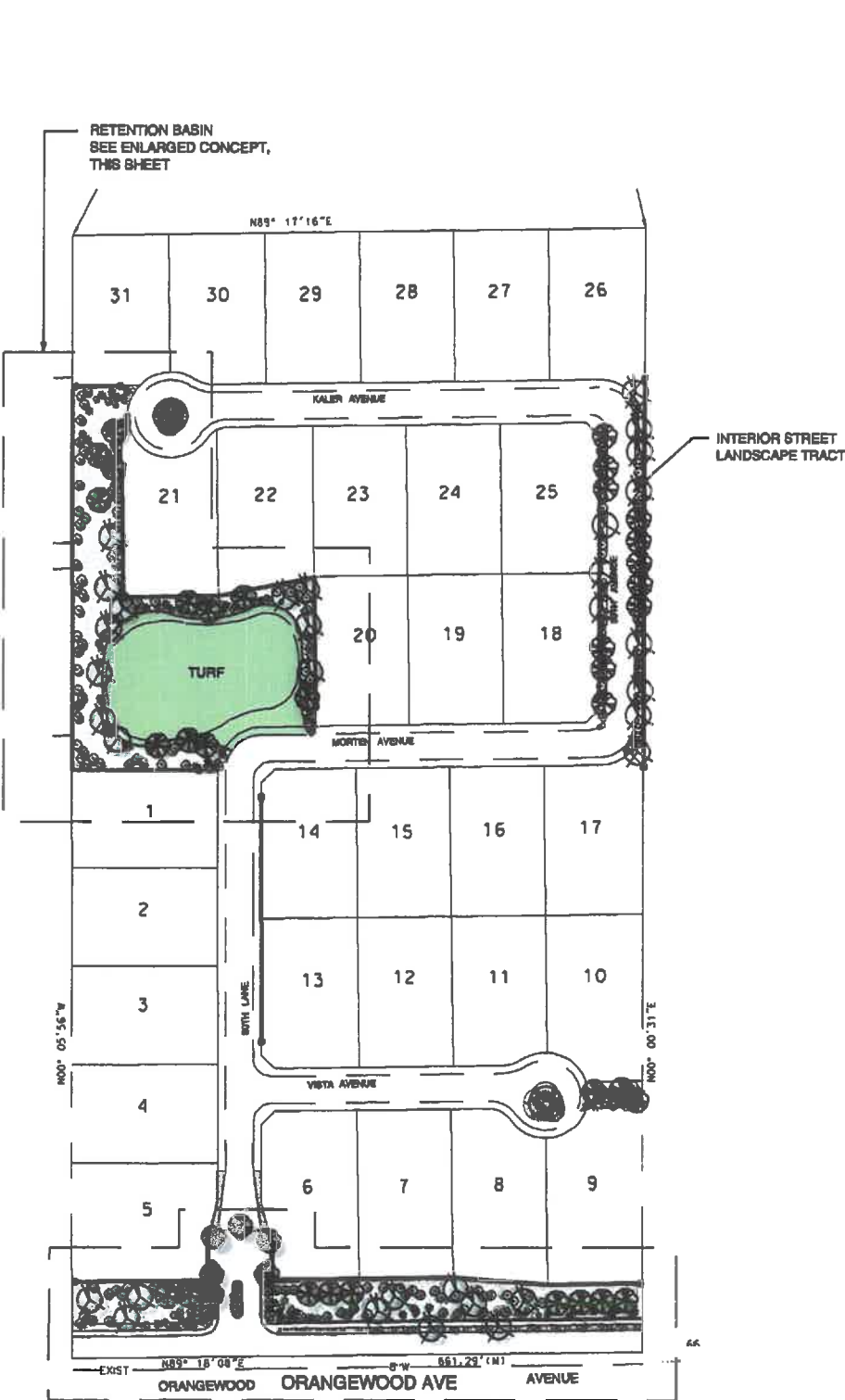


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TOPAZ LANDSCAPE PLAN

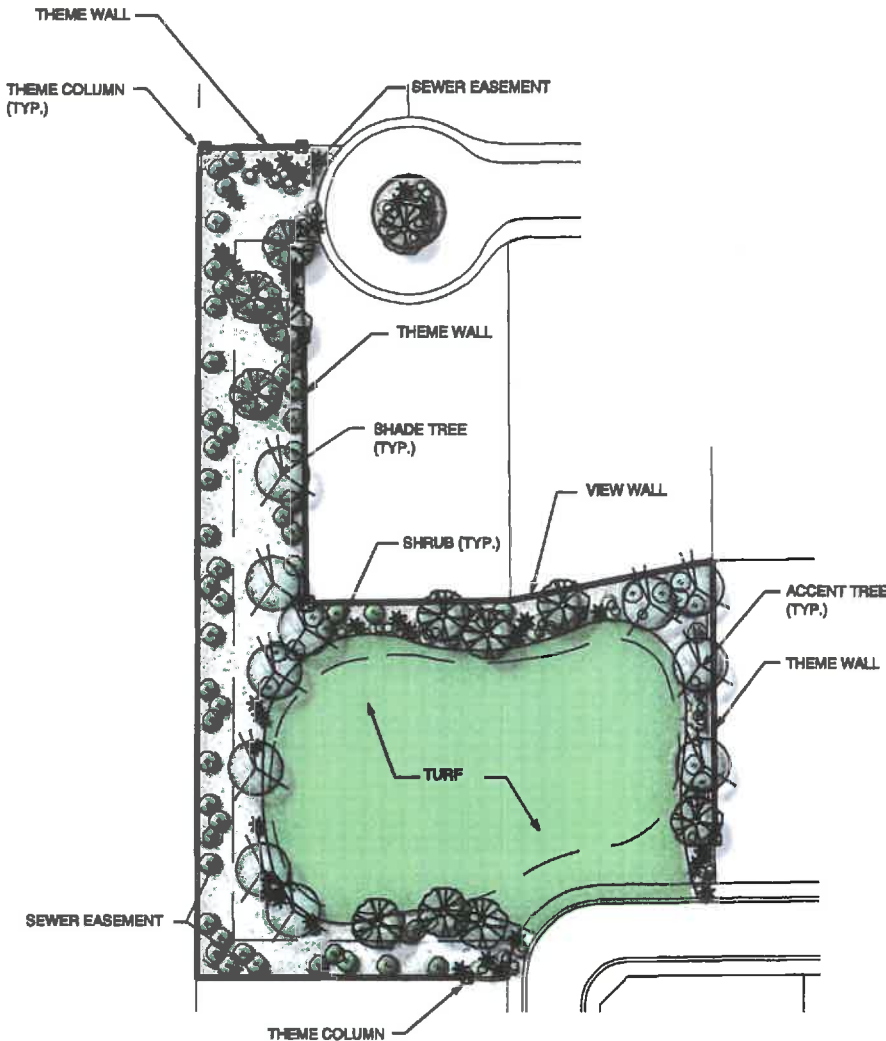
CVL # 020104
DATE: 11-20-2002
REVISED: 3-19-2003
REVISED: 5-05-2003

EXHIBIT
G



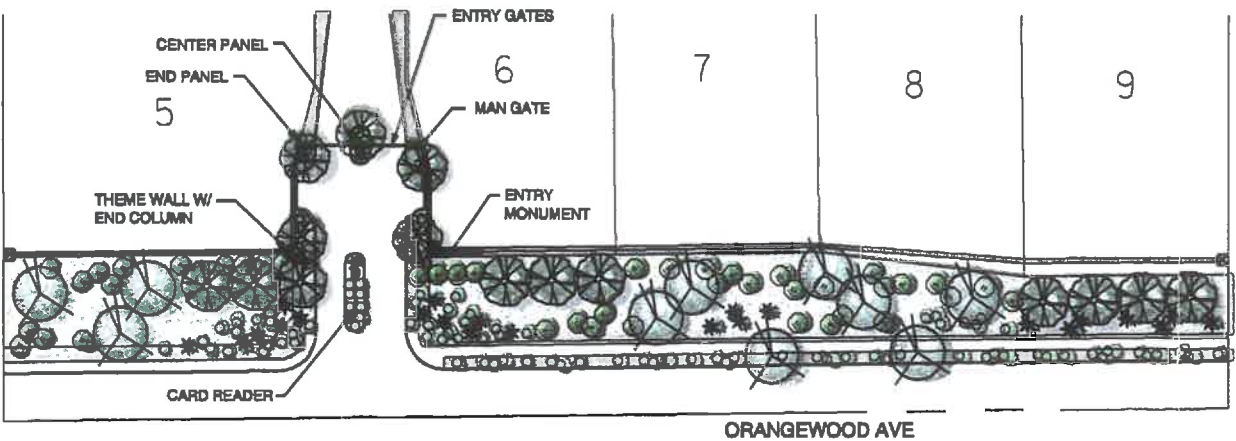
MASTER LANDSCAPE PLAN

SCALE: 1"= 200'-0"



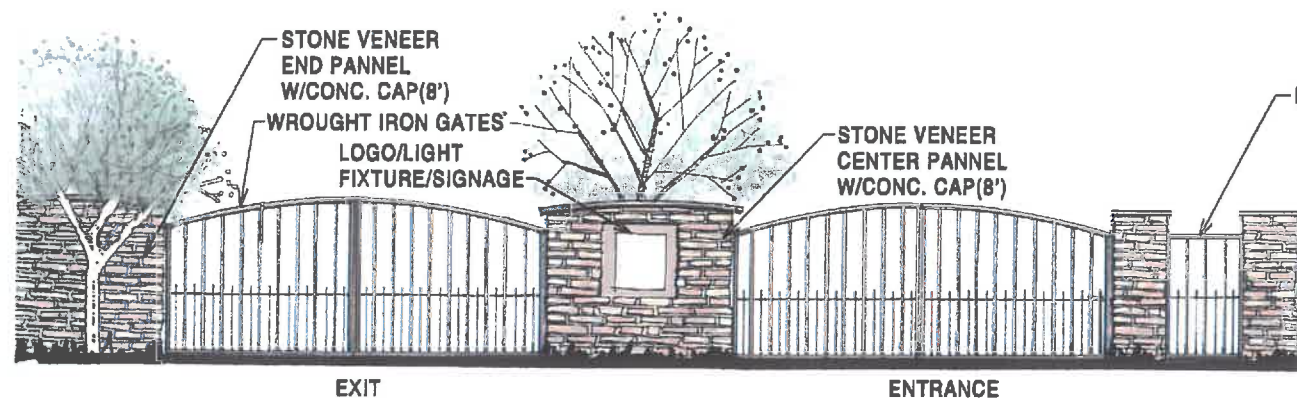
RETENTION BASIN CONCEPT

SCALE: 1"= 100'-0"



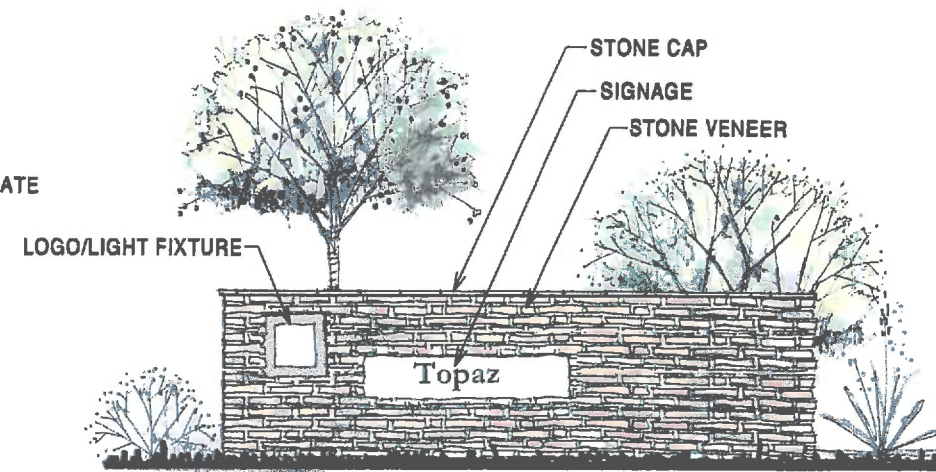
ORANGEWOOD AVE ENTRY

SCALE: 1"= 100'-0"



A ENTRY GATES

N.T.S



B ENTRY MONUMENT

N.T.S

TOPAZ ENTRY FEATURE PLAN AND ELEVATIONS

STONE VENEER:
FOG SOUTHERN LEDGESTONE
CULTURED STONE (CSV-2028).

WALL / STUCCO COLOR:
COAST POINT (SW2053)
SHERWIN WILLIAMS.

WROUGHT IRON COLOR:
MEADOWLARK (SW2054)
SHERWIN WILLIAMS.

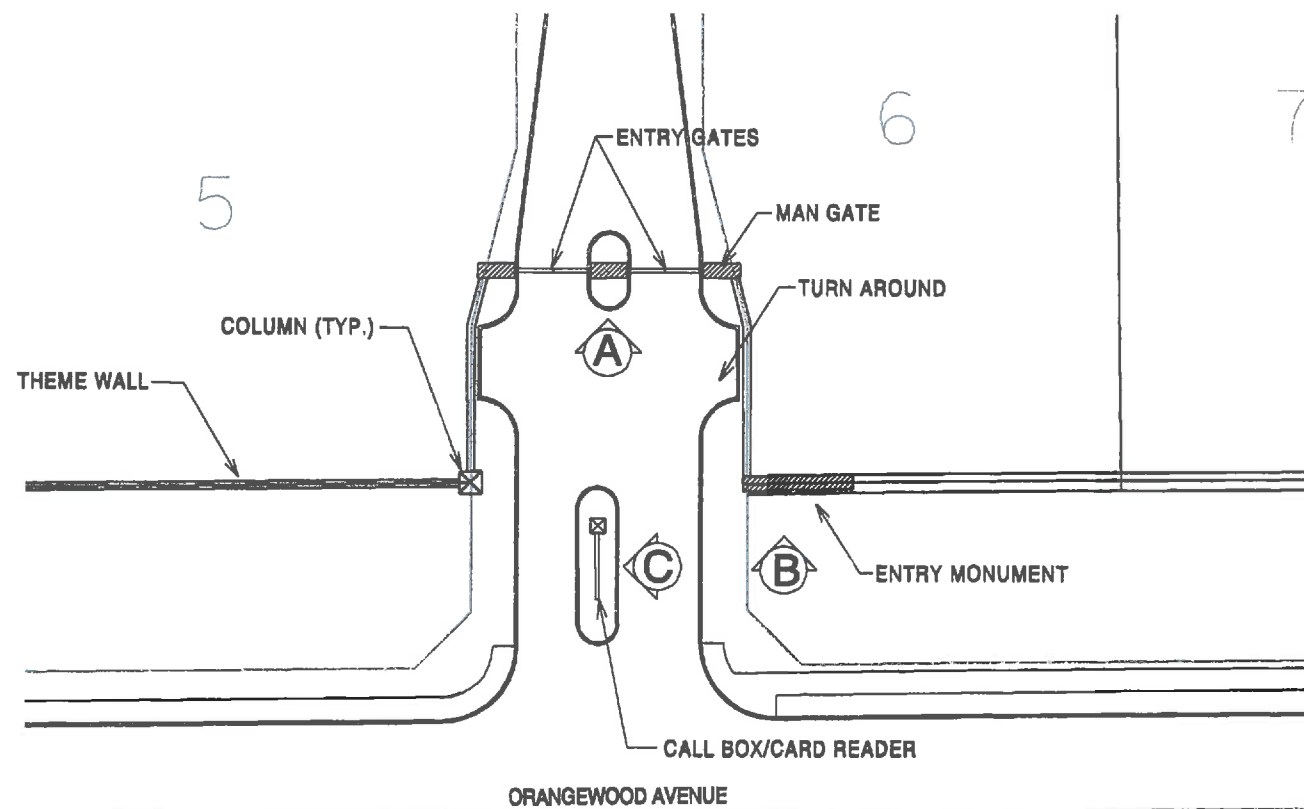
NOTES:

MAXIMUM SIZE SIGNAGE ALLOWED PER
ORDAINANCE IS 12 SQUARE FEET.

SIGNAGE BY OTHERS.

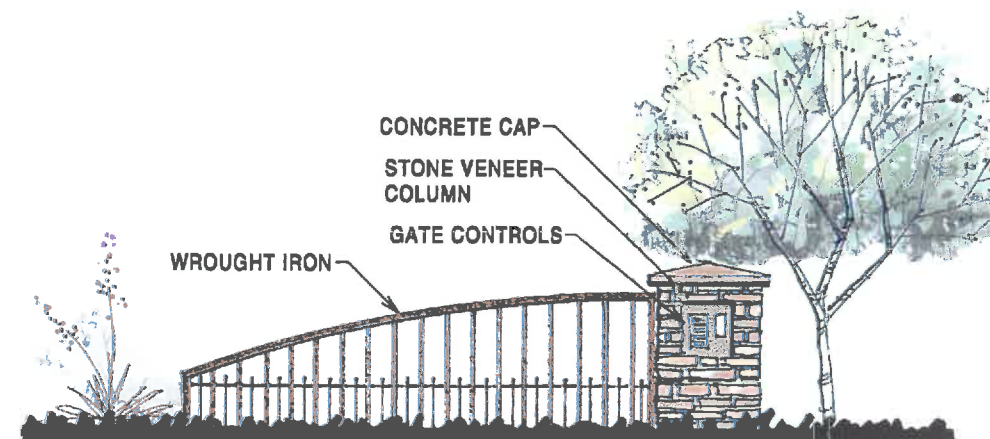
SEPERATE PERMIT REQUIRED FOR
ISSUANCE OF SIGN PERMIT.

A PRE-EMPTION DEVICE WILL BE
INCORPORATED INTO THE DESIGN OF
THE GATES.



ORANGEWOOD AVENUE ENTRY PLAN

SCALE: 1" = 200'



C CALL BOX/CARD READER

N.T.S



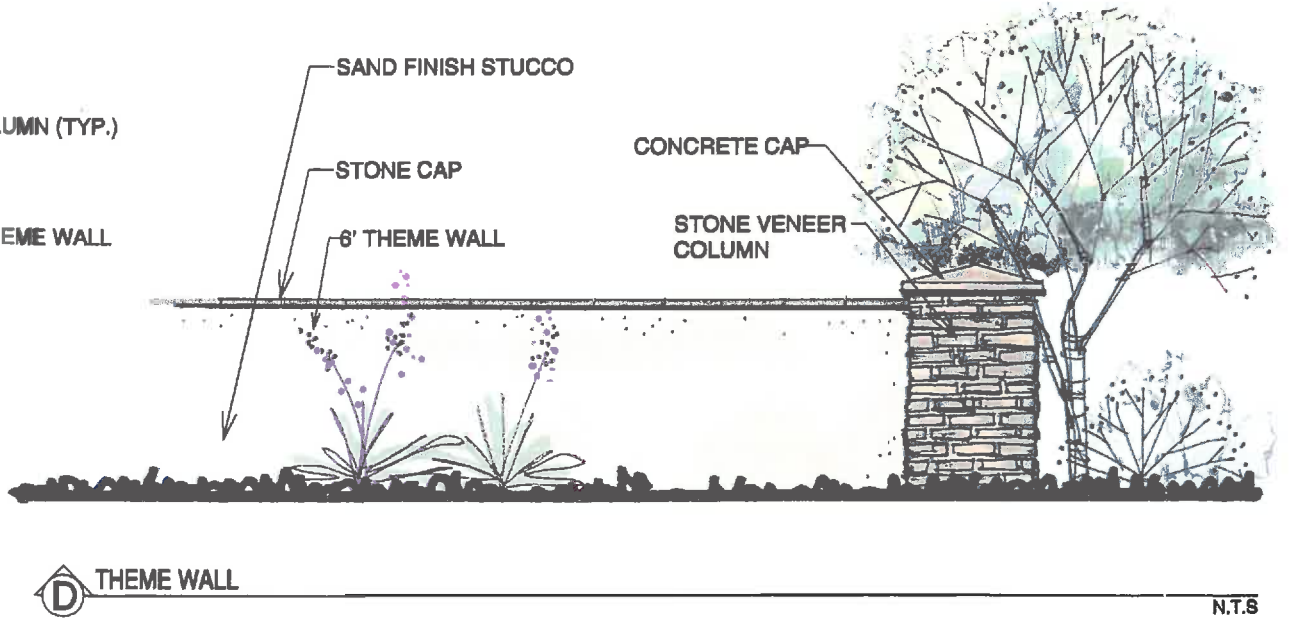
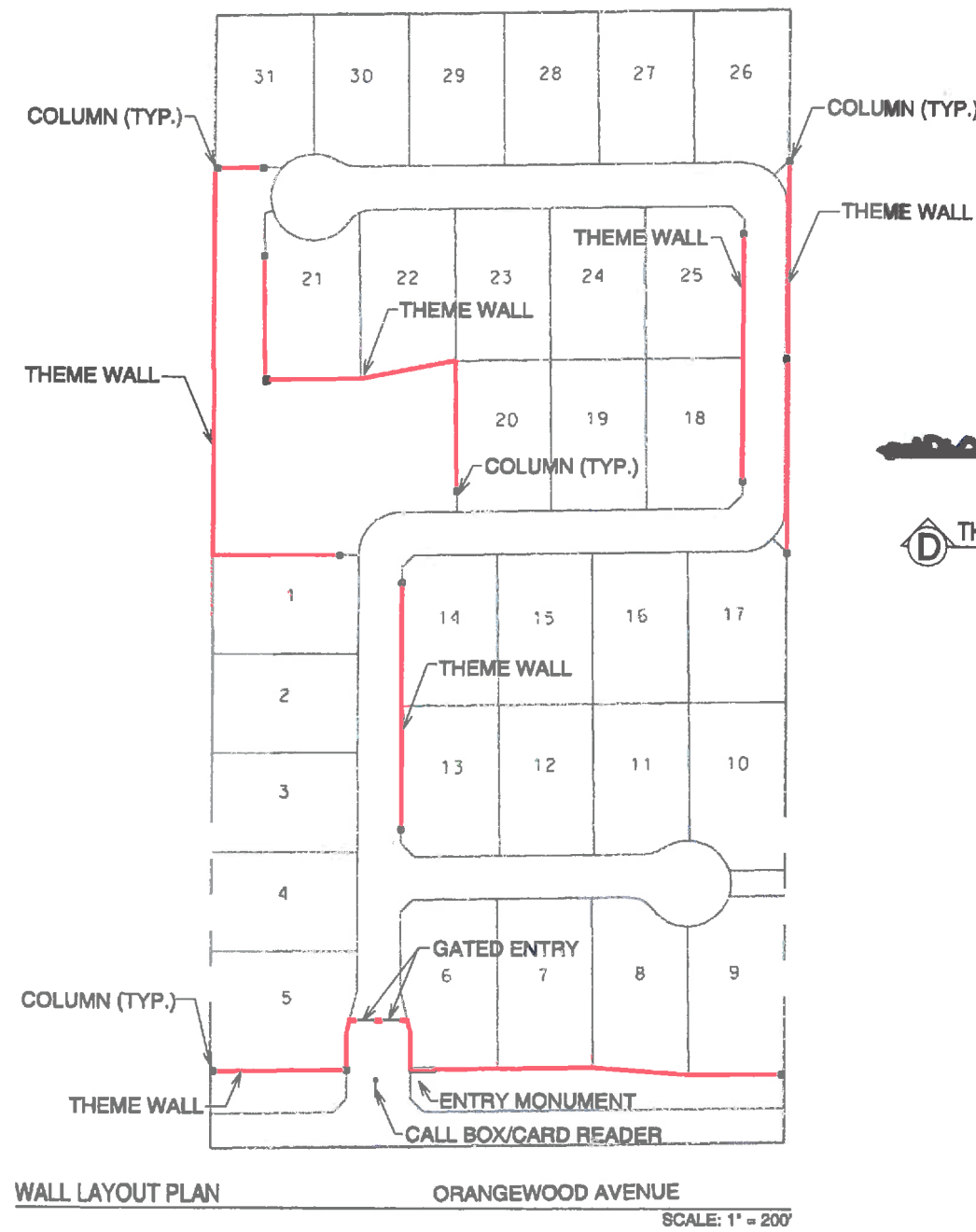
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TOPAZ ENTRY FEATURE PLAN AND ELEVATION

CVL # 020104
DATE: 11-20-2002
REVISED: 3-19-2003
REVISED: 5-05-2003

**EXHIBIT
H**

TOPAZ WALL PLAN AND ELEVATIONS



WALL LEGEND

THEME WALL

ALL WALLS WILL BE PAINTED, STAINED OR TREATED WITH A PROTECTIVE FINISH TO ALLOW FOR EASY GRAFFITI REMOVAL.



CVL Clouse Engineering, Inc.
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TOPAZ WALL PLAN AND ELEVATIONS



CVL # 020104
DATE: 11-20-2002
REVISED: 3-18-2003
REVISED: 5-05-2003

EXHIBIT
1

DATE: May 02, 2003
TIME: 16:58:07
FILE: n:\020104\land\plac-lands.dgn

TOPAZ PRELIMINARY DRAINAGE CONCEPT

KEY TO SYMBOLS

-  DIRECTION OF ON-SITE FLOW
-  RETENTION AREA



N.T.S.



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TOPAZ PRELIMINARY DRAINAGE CONCEPT

CVL # 020104
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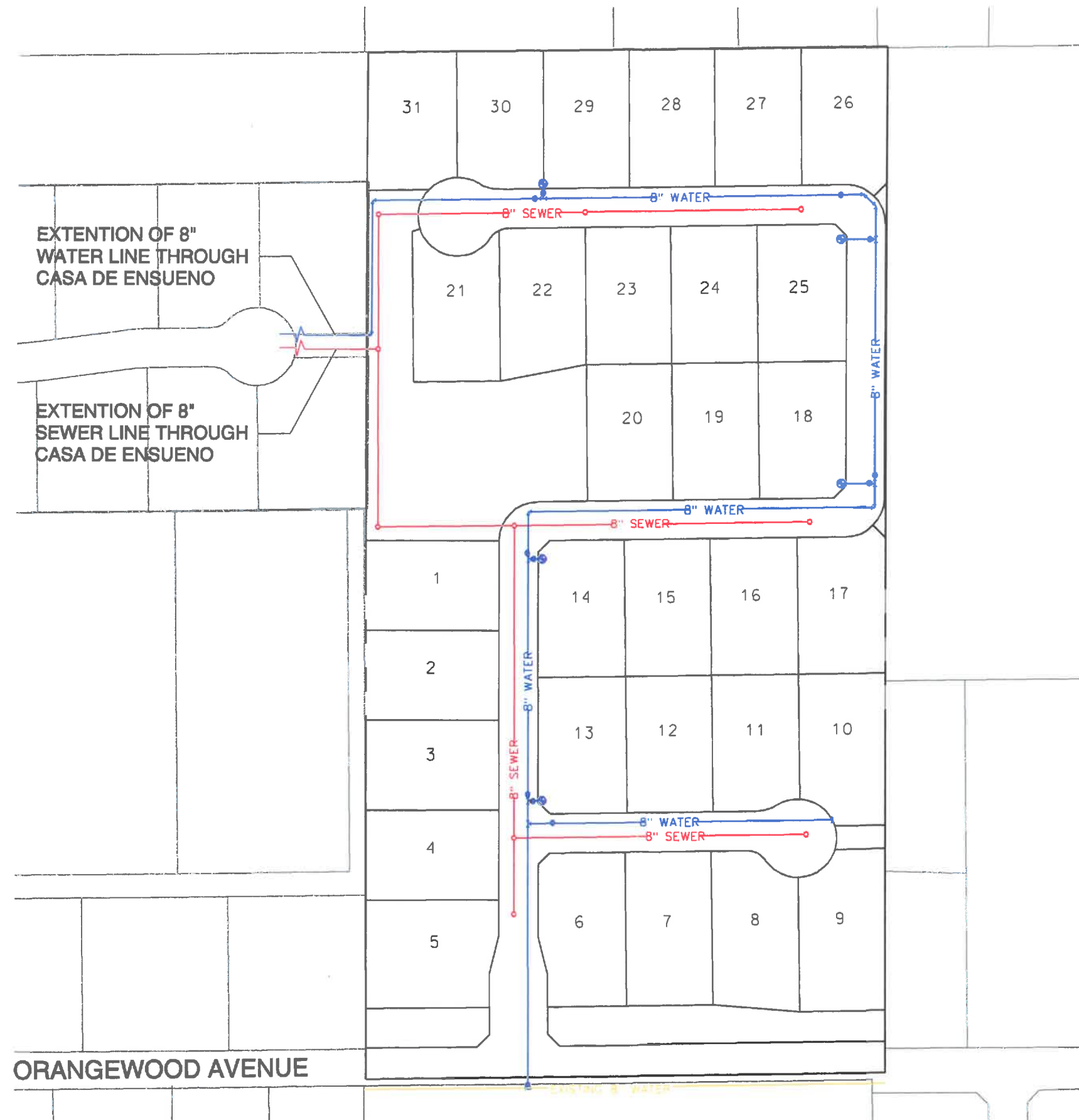
EXHIBIT
J

TOPAZ

CONCEPTUAL WATER AND WASTE WATER EXHIBIT

KEY TO SYMBOLS

- 8" WATER LINE
- 8" SEWER LINE
- FIRE HYDRANT
- MAN HOLE
- EXISTING 8" WATER



N.T.S.



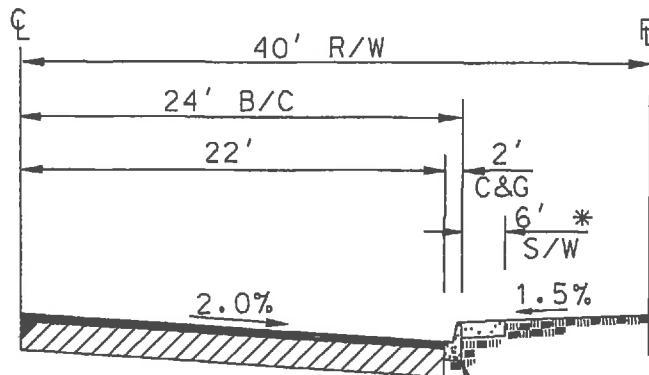
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1642 E. Orangevood Ave. Phoenix, Arizona 85020
Tel: 602-955-9300 Fax: 602-955-9310

TOPAZ CONCEPTUAL WATER AND WASTE WATER EXHIBIT

CVL # 020104
DATE: 11-20-2002
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REVISED: 5-05-2003

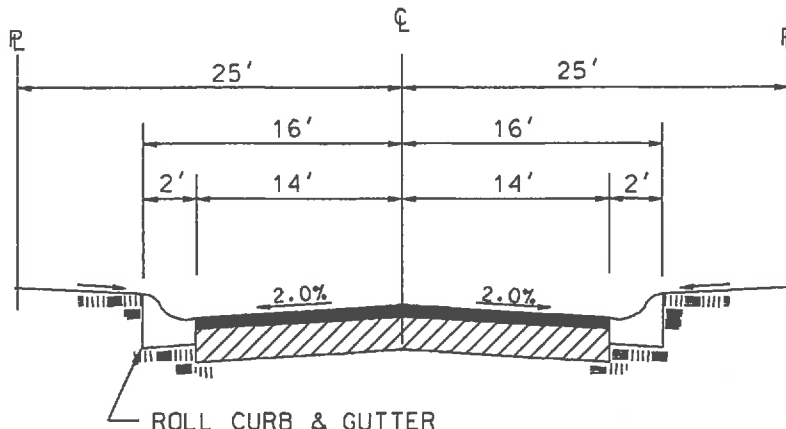
**EXHIBIT
K**

TOPAZ STREET CROSS SECTIONS



VERT. CURB & GUTTER
* SIDEWALK ATTACHED WEST OF
80TH LANE

ORANGEWOOD AVENUE
LOOKING WEST



ROLL CURB & GUTTER
TYPICAL INTERIOR STREET
PRIVATE STREET

N.T.S.

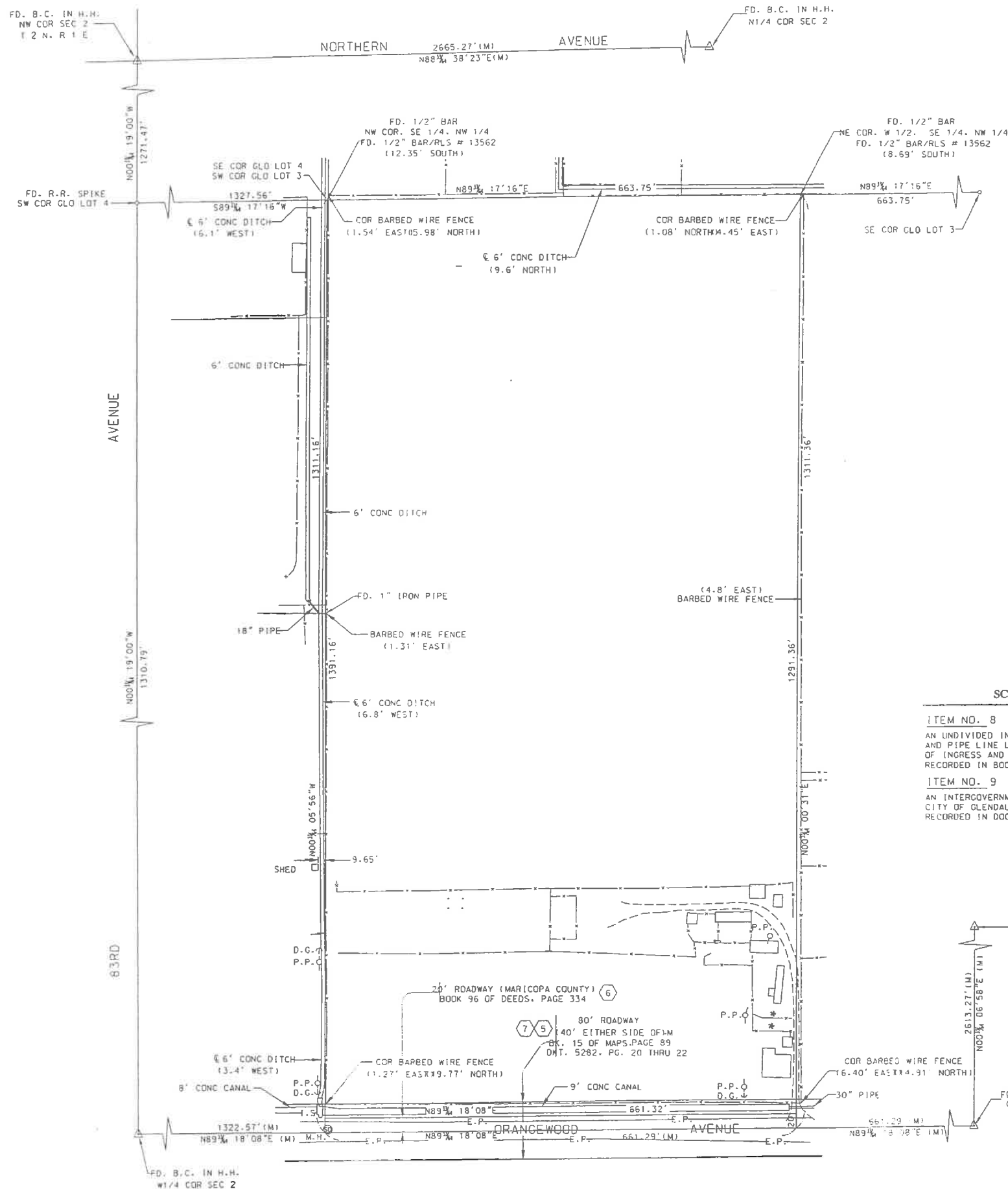


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TOPAZ STREET CROSS SECTIONS

CVL # 020104
DATE: 11-20-2002
REVISED: 3-19-2003
REVISED: 5-05-2003

EXHIBIT
L



1"=80'

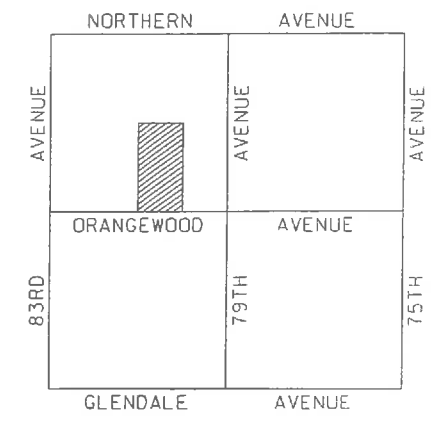
0 40 80 160

- LEGEND**
- # SCHEDULE "B" ITEM
 - E.P. EDGE OF PAVEMENT
 - P.P. POWER POLE
 - D.G. DOWN GUY
 - I.S. IRRIGATION STRUCTURE
 - W.V. WATER VALVE
 - W.M. WATER METER
 - ⊕ STORM DRAIN MANHOLE
 - ⊙ SIGN
 - (M) MEASURED DATA
 - M.B. MAIL BOX
 - C.L.F. CHAIN LINK FENCE
 - └─┘ INDICATES A CORNER OF THIS SURVEY.

SCHEDULE B ITEMS (NOT ABLE TO PLOT)

ITEM NO. 8
AN UNDIVIDED INTEREST IN AND TO THE WELL SITE AND WELL, PUMP AND PUMPING EQUIPMENT AND PIPE LINE LEADING FROM SAID WELL TO THE SUBJECT PROPERTY, INCLUDING THE RIGHT OF INGRESS AND EGRESS TO SAID WELL SITE FOR THE PURPOSES OF MAINTENANCE. RECORDED IN BOOK 87 OF AGREEMENTS, PAGE 479. M.C.R.

ITEM NO. 9
AN INTERGOVERNMENTAL AGREEMENT BETWEEN MARICOPA COUNTY, THE CITY OF PEORIA AND THE CITY OF GLENDALE REGARDING THE CACTUS DRAIN AND THE NORTHERN/ORANGEWOOD DRAIN. RECORDED IN DOCUMENT NO. 94-0345363 OF OFFICIAL RECORDS.



VICINITY MAP
N.T.S.

DESCRIPTION

THE WEST HALF OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 2, TOWNSHIP 2 NORTH, RANGE 1 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

EXCEPT THE SOUTH 20 FEET THEREOF.

- NOTES**
- ALL TITLE INFORMATION IS BASED ON A TITLE REPORT PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, ORDER NO. 201-1426268, DATED OCTOBER 04, 2002.
 - GROSS AREA IS 855,450 SQ. FT. OR 19.6384 ACRES, MORE OR LESS.
 - SUBJECT PROPERTY IS ZONED R1-18 R.U.P.D. BY MARICOPA COUNTY.
 - ACCORDING TO FIRM FLOOD INSURANCE RATE MAP NO. 04013C1640 E, DATED JULY 19, 2001, THE SUBJECT PROPERTY IS LOCATED IN ZONE X. ZONE X IS DESCRIBED AS: "AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD."
 - ANY DISTANCES, BEARINGS, DESCRIPTIONS, ETC., WHICH MAY VARY FROM THE PROVISIONS OF THE RECORD (INFORMATION NOTED ABOVE REFLECT ACTUAL MEASURED DATA, OR THE BEST INTERPRETATION OF THE UNDERSIGNED.

CERTIFICATION

TO : FIRST AMERICAN TITLE INSURANCE COMPANY, ANTHONY R. CONYERS AND GLORIA L. CONYERS, husband and wife AND 80TH AVENUE LAND SOLUTIONS, L.L.C., AN ARIZONA LIMITED LIABILITY COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE (i) IN ACCORDANCE WITH "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS", JOINTLY ESTABLISHED AND ADOPTED BY ALTA, ACSM AND NSPS IN 1999, AND INCLUDES ITEMS 1, 2, 3, 4, 8, 10, 14, 15 AND 16 OF TABLE A THEREOF, AND (ii) PURSUANT TO THE ACCURACY STANDARDS (AS ADOPTED BY ALTA, ACSM AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION) OF AN URBAN SURVEY. THE UNDERSIGNED FURTHER CERTIFIES THAT THE SURVEY MEASUREMENTS WERE MADE IN ACCORDANCE WITH THE "MINIMUM ANGLE, DISTANCE, AND CLOSURE REQUIREMENTS FOR SURVEY MEASUREMENTS WHICH CONTROL LAND BOUNDARIES FOR ALTA/ACSM LAND TITLE SURVEYS."

REGISTERED LAND SURVEYOR NO. 29268

<p>Clouse Engineering, Inc. ENGINEERS • SURVEYORS 1642 E. Orangewood Ave. Phoenix, Arizona 85020 Tel 602-395-9300 Fax 602-395-9310</p>	Revisions	Date
		11-08-02
		021101
	<p>ALTA/ACSM LAND TITLE SURVEY A PORTION OF W2, SE4, NW4, SEC 2, T2N, R1E MARICOPA COUNTY, 80TH AVENUE & ORANGEWOOD ARIZONA</p>	
<p>SH. 1 OF 1</p>		