

Orangewood Estates

R1-7 Planned
Residential Development

SWC

75th & Orangewood Avenues

CC APPROVAL 12/11/01

APPROVED PLAN
COMMUNITY DEVELOPMENT
CITY OF GLENDALE

SUSAN HACKER

SEP 28 2001

PLANNING DEPARTMENT

ORANGEWOOD ESTATES

A R1-7 Planned Residential Development

203 units on 59.44 acres

SWC 75TH Avenue and Orangewood Avenue
Glendale, Arizona

Z-01-01

DEVELOPER

Brown Family Communities
2164 East Broadway Road, Suite 300
Tempe, AZ 85282
Tel: (480) 921-1400
Fax: (480) 921-0545

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LIST OF EXHIBITS

EXHIBIT

- A. Vicinity Map
- B. Aerial Photo
- C. PRD Development Plan
- D. Conceptual Landscape Plan
- E. Master Color Schedule
- F. Conceptual Grading Drainage Plan
- G. Legal Description

PRD NARRATIVE

Introduction

Brown Family Communities has developed several planned residential communities throughout Maricopa County. Brown Family Communities proposes R1-7 PRD zoning (Z-01-01) to develop 203 single-family homes on a 59.44 acre parcel located on the southwest corner of 75th Avenue and Orangewood Avenue (see Vicinity Map, Exhibit A). This parcel has been in use as a dairy with the Rovey Family for decades. The dairy cows were relocated to another property located west of the 101 Freeway. The Rovey Family relocated the dairy in recognition of inherent conflicts that will occur between new development in the area and the ambiance associated with a dairy.

The proposed PRD for Orangewood Estates is part of a larger 80-acre parcel that includes a planned Glendale Elementary School District elementary school and a City of Glendale neighborhood park. The planned elementary school and neighborhood-park are located on the adjacent 20-acres to the west along the south side of Orangewood Avenue. Glendale Elementary School District would like to build a new elementary school on the 15-acres located on the southeast corner of Orangewood Avenue and 79th Avenue. The District would like to start design in the fall of 2001 and have the school open in the fall at the beginning of the 2003 school year. The City of Glendale has indicated that it would like to build a new 5.15-acre neighborhood park between the elementary school and Orangewood Estates.

The PRD site is vacant with a few old farm buildings. The parcel has street frontages on four sides including 75th Avenue, Orangewood Avenue, Myrtle Avenue, and 79th Avenue. Adjacent land uses include:

North: R1-6 zoning in unincorporated Maricopa County with single-family homes on large lots. The County lots range in width from 50 to 165-feet, and range in size from 14,400 to 1.2 acres. There is M-1 zoning with a variety of light industrial users located on the northeast corner of Orangewood Avenue and 75th Avenue in the City of Glendale.

East: R1-6 and A-1 zoning with four single-family homes on unsubdivided parcels ranging in size from 39,209 square feet to approximately 9 acres. There is an R-4 zoned parcel developed with a large apartment complex located on the southeast corner of Myrtle and 75th Avenues in Glendale.

South: R1-6, R-2 PRD, and R-4 zoning with single-family residences, and apartment units in Glendale. The single-family lots range nearest 75th Avenue are approximately 8,000 square feet zoned R1-6, and the lots nearest 79th Avenue are approximately 4,600 square feet zoned R-2 PRD. There are two unsubdivided parcels. One parcel is 2.6 acres zoned R-4 and the other is 1.8 acres zoned R1-6.

West: SR-17, R-2 and R-2 MH zoning with single-family homes and a mobile homes in Glendale. The parcels in the SR-17 zoning are not subdivided and range in size from .5 to 2.5 acres. Many are developed with mobile homes. The mobile home Park located west of the southwest corner of 79th and Myrtle Avenues has approximately 2,000 square foot mobile home spaces with over 100 mobile homes.

Most of the adjacent property surrounding the Orangewood Estates parcel was developed in Maricopa County and later annexed into the City of Glendale. A small lot single-family residential subdivision was developed in the City of Glendale along Myrtle Avenue near 79th Avenue. The four streets surrounding the parcel are only partially developed. Seventy-fifth Avenue is improved as a four-lane arterial street with curb, gutter, sidewalk, and street lighting. Orangewood Avenue is improved as a two-lane County/City collector road with approximately 24-feet of paving, no curbs, gutters, sidewalks, landscaping or streetlights. 79th Avenue is a dirt road with no improvements, and the right-of-way dedication is minimal. Myrtle Avenue is partially paved between 77th Lane and 79th Avenue, while the remainder of Myrtle Avenue is unimproved with an open irrigation ditch.

General Plan Justification

This R1-7 PRD does not require an amendment to the City of Glendale General Plan. The current General Plan designation for this property is 2.5-3.5 residential units per

acre on the 37.6-acres located on the northern portion of the parcel, and 5-8 residential units per acre on the 22-acres located on the south eastern portion of the parcel. The combined residential densities identified in the General Plan allow a density between 3.42 and 5.17 dwelling units per gross acre. The proposed R1-7 PRD proposes a density of 3.42 units per acre which is at the lowest end of the density range identified in the General Plan.

The General Plan identifies policies that encourage the type of single-family development proposed for Orangewood Estates:

- Policy 13 in the Land Use Element states “Encourage a mixture of housing opportunities citywide with emphasis on single-family dwelling units.”
- Policy 15 of the Land Use Element states “Allow residential developments on large parcels to contain a mixture of residential densities and products, provided that the overall density identified in the Land Use Map for the entire parcel is not exceeded.”

The potential traffic impact on the street system appears to be a concern among area residents. The proposed development at 3.42 units per acre is below the average density designated for this property as part of a citywide traffic impact analysis conducted by the City when the General Plan was prepared and adopted. The residential density used for the traffic impact analysis was 4.3 units per acre. The results of the traffic impact analysis indicated that traffic at build-out of all the land uses in the area could be accommodated by the planned street system. The proposed PRD will generate approximately 2,040 trips per day while the General Plan anticipated approximately 2,556 trips per day on the same parcel. The proposed development reflects a 20.2 percent reduction in traffic as compared to what was anticipated in the General Plan.

The proposed Orangewood Estates R1-7 PRD is consistent with the General Plan land use map and policies identified in the Land Use Element.

PRD Development Plan

Residential Uses

Orangewood Estates provides 203 single-family lots on a 59.44 acre parcel with a density of 3.42 units per acre. The minimum lot size is 7,000 square feet, the average lot size is 7,788 square feet and the maximum lot size is 16,936 square feet. Of the 203 lots, 139 lots are 65 feet wide, and 64 are 70 feet wide. All lots are minimum 110 feet deep. The lots include front setbacks that range from 18 to 24 feet plus the 5 feet of right-of-way from the front yard lot line to the back of sidewalk. Side yard setbacks are minimum 5 and 10 feet, however the side yards setbacks will be as large as 20 feet with up to 40 feet between adjacent houses. The rear yard setbacks are minimum 20 feet for single-story homes and 30 feet for two-story homes. More detailed information is provided in the Development Standards table and in the tables listing the Single-Family Design Guidelines discussed later in this narrative. The house products will include 3 elevations for each floor plan. All of the house products will be subject to final review and approval by the Planning Department and the Building Safety Department prior to the issuance of building permits.

Circulation

Orangewood Estates provides entrances off of 75th Avenue, Orangewood Avenue, Myrtle Avenue, and 79th Avenue (see Conceptual Site Plan, Exhibit C). The entrance off of 75th Avenue at State Avenue is designed with landscape tracts on both sides, entry monument signage on both sides. A landscaped median and decorative pavers at the T intersection inside the entrance. The entrance off of 79th Avenue includes landscape tracts on both sides and decorative pavers. The 79th Avenue entrance is needed to maintain public safety vehicle access to Glendale Avenue since Myrtle Avenue is designed to be discontinuous to 75th Avenue. The entrance off of Orangewood Avenue at 77th Lane provides a landscape tract wrapping around the Orangewood Avenue corner on the east side of the entrance. The planned Neighborhood Park is on the west-side of the entrance. This north-south collector street is designed to provide maximum pedestrian and visual access to the neighborhood park site. The wishbone entrance off of Myrtle Avenue at 77th Lane provides a unique design that both mitigates traffic flow on Myrtle Avenue and provides a centrally located landscape open space for the people who will live in Orangewood Estates.

The backbone of the internal street system is 77th Lane that provides the north-south connection from Orangewood to Myrtle Avenues. 77th Lane also provides access to a planned city park located on the southwest corner of Orangewood and 77th Lane. The developer agrees to enter into a development agreement with the City to build the half-street improvements including paving, curb and gutter along 77th Lane adjacent to the planned city park if the City purchases the park site. The internal street system includes

curvilinear streets, and cul-de-sacs with an east-west orientation to take advantage of homeowners' preferences to own houses on lots with north-south orientations to take advantage of the solar orientation. This street system discourages non-neighborhood traffic from driving through the neighborhood.

Open Space

Orangewood Estates provides large internal landscape open spaces. A centrally located open space identified as Tracts C, D and E along 77th Lane are designed with maximum visual accessibility from the surrounding residential lots. The recreational amenities usually placed within the Orangewood Estates open spaces are donated by the developer to the City of Glendale. The City of Glendale will install the recreation facilities in the new city park located across 77th Lane from Orangewood Estates. The developer agrees to make a financial in-lieu contribution to the City of Glendale equal to the value of the tot-lot facilities that would otherwise be developed within the project open spaces. This in-lieu arrangement makes better use of resources by making the recreation facilities available to the public, otherwise the facilities would only be available to residents living in Orangewood Estates. Two large open space areas are designed for landscaping and retention along 79th Avenue. These open space retention areas is used as a horizontal buffers to the existing large lots located west of 79th Avenue. An open space area along Myrtle Avenue will also provide on-site retention, landscaping, and visual access into two cul-de-sacs.

All of the perimeter edges of the project include landscape open space tracts with staggered decorative theme walls. Some of the perimeter open space tracts provide vistas into the project off of 75th, Myrtle and 79th Avenues. The perimeters will be landscaped with trees, shrubs and ground cover to provide an aesthetic visual amenity for residents who within and adjacent to the project.

Immediately adjacent to Orangewood Estates along the west side of 77th Lane and south of Orangewood Avenue is a planned 5.15-acre City neighborhood park site and a 15-acre Glendale Elementary School District elementary school site. Both the City park and the playground for the elementary school will provide additional public open space and recreation facilities for the residents of Orangewood Estates and the existing surrounding neighborhoods. The street system designed for Orangewood Estates allows public streets on three sides of the neighborhood park to provide maximum pedestrian and visual access to the neighborhood park. This design provides maximum visibility, safety and protection for residents using the Neighborhood Park.

Development Standards

	DISTRICT STANDARDS	PROPOSED STANDARDS
Minimum Net Lot Area	7,000 SF	7,000 SF
Minimum Lot Width	70'	65'
Minimum Lot Depth	100'	110'
Minimum Front Setback	15' to living area 20' to garage	18' for standards lots 20' for cul-de-sac lots with 3' staggers on adjacent lots and 6' staggers on a block
Minimum Rear Setback	20'	20' for one-story 30' for two-story***
Minimum Side Setback	5' and 10'	5' and 10'
Minimum distance between buildings on adjacent lots	15'	15'
Minimum Street Side Yard Setback	10'	10'
Maximum Structure Height	30'	30'
Maximum % Lot Coverage	40%	45%

* Lot width is measured at the front setback for standard lots.

** Bay windows and entertainment centers may project 2' into the side yard for a horizontal distance not to exceed 10', except where contiguous to a driveway.

*** Unenclosed patios covers can encroach into the rear yard setback 10'.

Planned Development Guidelines

Orangewood Estates is developing under the PRD overlay-zoning district and is subject to review through the Planned Development Guidelines as part of the Single-Family Residential Design Guidelines. Orangewood Estates meets all of the Design Guidelines for developments with lots over 7,000-square feet. The following includes the tables of Planned Development Guidelines for PRD projects and an explanation on how the guidelines within each table is implemented:

OPEN SPACE AMENITIES

Guidelines	Comments	
1. Provide retention areas that meander through the subdivision as a green belt instead of a single rectangular basin	There are 7 retention basins located through out Orangewood Estates. Four basins are centrally located along 77 th Lane. Two basins are along 79 th Avenue as buffers to the adjacent lower density development to the west. One basin is along Myrtle Avenue as part of the landscape perimeter.	Y
2. Provide landscaped open spaces visible from arterial street view as well as from residential street view	Several landscaped open spaces are provided at the entrance to the project, along 75 th Avenue. Orangewood Avenue, Myrtle Avenue and 79 th Avenue.	Y
3. Provide useable common open space that is centrally located, and improved with recreational facilities	The Plan includes a centrally located common open space area that is located at the intersection of 77 th Lane and 77 th Avenue. The recreation facilities from this project will be donated and developed in the city park across 77 th Lane.	Y
4. Provide an internal pathway system	<u>Not selected.</u>	NS
5. Provide amenities such as golf courses, and lakes	<u>Not selected.</u>	NS

STREETS

Guidelines	Comments	
1. Provide an enhanced curvilinear street system	<u>Not selected.</u>	NS
2. Provide minimum 6' wide landscape tracts at the end of blocks	8' landscape tracts are provided at the end of the blocks	Y
3. Open streets and cul-de-sacs to common open space	Streets are open to the neighborhood park, private common open space with recreation facilities. The internal streets are also open to landscape open space along 79 th Avenue. The two cul-de-sacs along Myrtle Avenue are designed with landscape open spaces along Myrtle Avenue, which allows vistas into the project.	Y
4. Provide local streets with detached sidewalks and street trees	<u>Not selected.</u>	NS
5. Provide landscape islands with prominent landscaping in cul-de-sacs	<u>Not selected.</u>	NS
6. Provide enhanced traffic calming devised when needed	The Plan provides a unique wishbone street design at 77 th Lane and 77 th Avenue to mitigate traffic flow along Myrtle Avenue. The east/west internal street design is designed to mitigate any non-neighborhood traffic flow from 75 th Avenue to 79 th Avenue. Cul-de-sacs are used to calm traffic speeds.	Y
7. Provide collector streets with landscaped medians detached sidewalks and enhanced landscaping to create a boulevard effect	<u>Not selected.</u>	NS

PERIMETER IMPROVEMENTS

Guideline	Comments	
1. Provide enhanced entrances from arterial and collector streets	The Plan provides an enhanced entrance from 75 th Avenue at State Avenue with landscape tracts and a landscape median and decorative pavers. The entrances off of Orangewood Avenue and Myrtle Avenue include landscape tracts. The entrance off of 79 th Avenue is enhanced with landscape tracts and decorative pavers.	Y
2. Provide enhanced perimeter theme walls along arterial and collector streets	The Plan provides an enhanced perimeter staggered theme wall with split face block accents, repeating columns with decorative concrete caps and split face block accents. This design will include an 8' wall along 75 th Avenue and a 6' wall along other street perimeters.	Y
3. Provide distinctive horizontal and vertical relief in perimeter walls adjacent to streets	The Plan provides staggered rear lot lines to provide horizontal relief along 75 th Avenue and Orangewood Avenue. The unusual wishbone street design and cul-de-sacs provide significant relief along Myrtle Avenue. The landscape tract along 79 th Avenue provides significant horizontal buffers from the street to the first set of houses.	Y
4. Provide a landscape tract between the street right-of-way and the perimeter wall	Landscape tracts are provided between the perimeter theme wall and perimeter streets where lots back to the street rights-of-way.	Y

LOT LAYOUT AND SETBACKS

Guidelines	Comments	
1. Vary the width of lots that are side by side by 5' or more	<u>Not selected</u> , however there are two lot sizes in this project, which are 65' and 70' wide.	NS
2. Stagger front yard setbacks by 3' or more on adjoining lots and provide a range of 6' or more on the same block	The Plan provides front yard setback staggers of 3' on adjoining lots and provides a range of 6' on the same block.	Y
3. Provide variation in the width of side yards and the separation between houses	The variation in side yards on the 65' wide lots can vary from 5' to 25' and the distances between adjacent houses can vary from 15' to 40'. The variation in side yards on the 70' wide lots can vary from 5' to 20' and the distances between adjacent houses can vary from 15' to 40'.	Y
4. Provide minimum 15' side yards for two-story houses	<u>Not selected</u> , however many two-story houses will have 15' side yards because many house products are 40' and 45' wide which leaves room for 10' and 15' side yards.	NS
5. Provide a minimum 30' rear yard setback for two-story houses	The Plan provides a minimum 30-foot rear yard setback for two-story houses.	Y
6. Widen corner lots by 10' or more than the interior lots on the same block	<u>Not selected</u> , however 8' landscape tracts are provided adjacent to corner lots at the end of each block.	NS
7. Orient the house at an angle within the building envelope on corner lots	<u>Not selected</u> , however the building envelope will provide sufficient room to accomplish this guideline	NS
8. Stagger rear setbacks where a row of lots backs to an arterial or collector street	Lots along the arterial and collector streets are staggered and the front yard setbacks are staggered, the rear setbacks for the different size house products will also be staggered.	Y
9. Vary the depth of perimeter lots to provide for variation in perimeter wall alignments	The depths of the perimeter lots are varied along with the stagger of the perimeter walls to provide variation in the perimeter walls along the portions of the project where lots back to perimeter streets.	Y
10. Provide a difference of at least 2,000 square feet between the minimum lot size of two or more parcels in a multi-parcel development	<u>Not selected</u> . Does not apply to this type of project. Lots do vary in size from 7,000 to 16,000 square feet.	NS

HOUSE PRODUCTS

GUIDELINES	COMMENTS	
1 Provide distinctive architectural details on front elevations	The Plan provides covered recessed entryways, window details, stucco exteriors with stone accents, sectional metal garage doors with raised panels, varied roof ridge lines including hip/gable ends, reverse truss gable designs and concrete tile. Elevations include contemporary southwestern architectural styles.	Y
2. Provide significant architectural differences in the choice of elevations offered for each floor plan	There will be three different elevations for each floor plan with a combination of one-story and two-story house products.	Y
3. Locate houses with different front elevations on adjoining lots	No two houses with the same elevation will be on adjoining lots.	Y
4. Provide distinctive architectural detailing on the rear elevation of houses backing onto arterial and collector streets and common areas	Variations in architectural detailing will occur due to the combination of one and two-story house products.	Y
5. Locate houses with different rear elevations on adjoining lots backing onto arterial and collector streets and common areas	<u>Not selected.</u> The combination of different house products with integrated patio covers and various options will provide different rear elevations along arterial and collector streets and common areas.	NS
6. Provide a variety of roof forms and ridge lines on houses backing onto arterial and collector streets and common areas	The combination of different floor plans and combinations of one and two-story houses provides a variety of roof ridgelines with hip roofs, gable roofs and ells along with integrated rear patio covers to ensure different rear elevations along 75 th Avenue, Orangewood Avenue and Myrtle Avenue. All perimeter streets have common area landscape tracts.	Y
7. De-emphasize garage fronts as the most prominent feature on front elevations	<u>Not selected.</u> some of the houses have extended garages and some have flush garages and recessed garages. Three car garages are offered as an option on the house products.	NS
8. Provide covered rear patios which match the architecture of the house	All house products have integrated covered rear patios that match the architecture of the house.	Y
9. Incorporate a variety of durable exterior materials and finishes	The durable materials on the house products include stucco exteriors, stone veneer or accents, sectional metal doors, and concrete tile roofs.	Y
10 Provide a variety of roof colors and textures	House products provide a variety of roof tiles and a variety of colors that match the house colors.	Y
11 Provide a variety of front yard landscaping packages	<u>Not selected.</u>	NS
12 Provide enhanced decorative return walls on individual lots	The house products include painted stucco CMU decorative return walls to match the houses.	Y

In addition to the Design Guidelines listed in the previous tables, the Planned Development Guidelines narrative also includes discussions on a variety of additional design criteria used to help evaluate PRD proposals. The following is a listing of the criteria identified in Text Guidelines alone with an explanation of how Orangewood Estates meets the additional criteria. The additional Design Guidelines in the text are *italicized*:

- *“Not more than 20% of the total number of lots in any PRD shall have a lot area less than the minimum required by the underlying zoning district.”* All of the lots in Orangewood Estates are above the minimum square-footage identified in the R1-7 zoning district. Orangewood Estates complies.
- *“The reduced lot area on individual lots shall be transferred on a 1:1-ratio to useable common open space that is not inundated by storm water.”* All of the lots in Orangewood Estates exceed the minimum square-footage identified in the base zoning district, the implementation of this guideline is not necessary. Orangewood Estates complies.
- *“The average lot area for all lots in a parcel of land or within any phase of a multi-phased development, shall be at least 500 square feet greater than the minimum lot area required by the underlying zoning district.”* The average lot size for Orangewood Estates is 500-square feet greater than the minimum lot area required under the underlying zoning district. The average lot size in Orangewood Estates is 7,788 square feet or 788 square feet larger than the base-zoning district. Orangewood Estates complies.
- *“The minimum front yard setback from the property line is 15-feet from living areas and 18-feet for garages when a standard street cross-section is used. This provides a minimum of 20-feet from the sidewalk to the face of the garage.”* Orangewood Estates meets the minimum front yard setback as described in these guidelines. Orangewood Estates complies.
- *“The minimum front yard setback from the property line is 20-feet when a detached sidewalk is provided.”* Orangewood Estates does not provide detached sidewalks along internal streets, therefore this guideline does not apply.
- *“Provide variation in the width of side yards and in the separation between houses on 25 percent of the lots.”* The different floor plans are designed with a combination of one and two-story house products on 65 and 70 foot wide lots that will allow variations of 5, 10, 15, and 20-foot side yard setbacks. These combinations of side yard setbacks will provide variation and separation on 25 percent on the lots as called for on this guideline. Orangewood Estates complies.

- *"Group wider side yards together on some adjoining lots to provide a separation of 20-feet or more between houses."* The combination of the various widths of the house products and the variation in the different side yard setbacks will allow the grouping of wider side yard together on some adjoining lots that will provide a separation of 20-feet or more between houses. Orangewood Estates complies.
- *"The minimum separation between houses on adjoining lots is 15-feet."* Orangewood Estates provides a minimum separation of 15-feet between lots on adjoining houses. Orangewood Estates complies.
- *"The minimum side yard is 5-feet."* Orangewood Estates provides a minimum 5-foot side yard along with 10-foot side yards that is consistent with this Design Guideline. Orangewood Estates complies.
- *"Wider corner lots by 10-feet or more than interior lots on the same block."* Orangewood Estates did not select this option under Guideline 6 within the Lot Layout and Setbacks Table. However the plan does provide 8-foot wide landscape tracts at the end of each block next to the corner lots.
- *"Stagger the rear yard setback where row of lots back to an arterial or collector street."* Orangewood Estates provides lot lines along 75th Avenue that are staggered by 3-feet to meet this guideline. The variety of house products with up to 6-foot staggers in the front yard setbacks, a wide variety of side yard setbacks, and different size house products will also create stagger on the lots in addition to the lot line staggers. Orangewood Estates complies.
- *"The minimum rear yard setback is 20-feet."* Orangewood Estates meets this Design Guideline. The rear setbacks are 20 for one-story and 30-feet for two-story units. Orangewood Estates complies.
- *"Limit the number of lots in a row backing onto an arterial or collector street and common areas to six or less."* Orangewood Estates provides landscape tracts, staggered rear lot lines, staggered perimeter theme walls, 20 and 30-foot rear yard setbacks and different house product sizes to ensure there is no row look along 75th and Orangewood Avenues. Orangewood Estates complies.
- *"Provide minimum 6-foot wide landscape tracts at the end of blocks."* The Plan provides 8-foot landscape tracts at the end of blocks. Orangewood Estates complies.
- *"In the perimeter wall design use upgraded materials such as painted stucco over concrete block, stone, or enhanced materials. Plain concrete block, split faced block, or single scored blocked are not acceptable."* Orangewood Estates provides a combination of painted-block, split face block and concrete column caps on its perimeter wall to meet this guideline. Orangewood Estates complies.

- *"In the perimeter wall design provide distinctive horizontal and vertical relief on perimeter walls adjacent to streets. Use curves, staggers, alternating materials, decorative pilasters, angled alignments, or breaks to provide horizontal relief. The variations should occur regularly and in a comfortable pattern."* The perimeter wall for Orangewood Estates is staggered in accordance with the staggered rear lot lines along 75th and Orangewood Avenues. The perimeter wall along Myrtle Avenue is punctuated with landscape open spaces along cul-de-sacs and open space variations for landscape retention areas. The western portion of Myrtle Avenue does not have a perimeter wall due to the lot configuration, and 79th Avenue does not have a perimeter wall due to the 55 to 90 foot wide landscape/retention open space buffer. Orangewood Estates complies.

House Products

The proposed homes include one and two story plans that exhibit high quality with a unified design theme. The design utilizes a common architectural style, landscape concept and landscape palette to provide a residential community organized adjacent to a Neighborhood Park and elementary school. The architecture of the homes will reflect southwestern styles. Complementary house elevations, architectural details and colors will create an overall design theme for Orangewood Estates. A professionally designed color scheme is established that includes main color themes for elevations and accent colors for architectural trim and details (see Master Color Schedule, Exhibit E). A variety of roof configurations and forms including gable, hip and ells will be offered with various elevations to further enhance architectural design variation and diversity.

Each home shall include the following:

1. Stucco exterior with two-tone color accents.
2. Covered rear patio integrated into the design of the home. Patio covers will have stuccoed columns and tile roofs or flat roofs with parapets.
3. Ground mounted AC unit.
4. Concrete tile roof.
5. Stucco accents and window treatments are required on all elevations.
6. Two-car garage with three car garage option.
7. Stucco and painted decorative masonry return walls to match the residences.

8. Dual pane windows. Window frames and mullions finished with either baked enamel paint or anodized.
9. Roof vents painted to match tile roof color.
10. Exterior light fixture at front entrance door. Enhanced exterior light fixtures on garage doors as a buyer option.
11. Metal flashing, vents, pipes, electrical panels and other exposed metal painted to match the color of the house.
12. Boxed fireplace chimneys to avoid exposed metal flumes if buyers include a fireplace as an option or if a fireplace is added at a later date.
13. Front entry and at least one window visible from the street.
14. Sectional metal garage doors with raised panels. Decorative windows available on garage doors as a buyer option.

The house-plans include a combination of one and two-story designs with a minimum of three different elevations for each house plan. All houses and lots are designed to allow the owner to store trash containers in an attached 2-car garage where the containers will be rolled to the curb for pick-up.

Landscape, Entry Features and Perimeter Walls

The landscape concept for Orangewood Estates utilizes a plant palette indigenous to the area and complementary to the architectural theme selected for the house products (see Conceptual Landscape Plan, Exhibit D). Drought resistant plants and trees will be the predominant materials used in the overall landscape design with colorful accents materials incorporated in open space areas. Streetscape standards for the landscape tracts along 75th, Orangewood, Myrtle and 79th Avenues are be designed as integral components of the overall open space landscape theme and include plant materials compatible with the City's street landscape program.

Decorative perimeter theme walls are planned along the perimeter of the project where lots back to the perimeter streets. An 8-foot high decorative theme wall is planned along 75th Avenue. A 6-foot high perimeter decorative theme wall is planned along Orangewood and Myrtle Avenues. The open spaces located at the ends of cul-de-sacs are landscaped with boulders to prevent vehicular access beyond the end of the cul-de-sacs. The end of the cul-de-sacs will be landscaped, but no view fences are placed at the ends of the cul-de-sacs. The perimeter theme wall will be painted block with split face block accents in a repeating theme. Decorative columns with split face block accents and decorative concrete caps will be placed in repeating intervals. The perimeter wall will be

staggered to provide an aesthetic appearance along perimeter streets (see Conceptual Landscape Plan, Exhibit D).

The State Avenue entrance into the project off of 75th Avenue will include decorative pavers, landscape tracts on both sides with detached sidewalks, a landscape median, and a landscape tract inside the entrance at the T intersection. This entrance also includes entry monument signage with the Orangewood Estates development name (See Conceptual Landscape Plan, Exhibit D). The entrances off of Orangewood Avenue and Myrtle Avenue include landscape tracts on both sides with detached sidewalks and perimeter theme walls with decorative columns that wrap the corners to provide a finished entry appearance. The entrance off of 79th Avenue will include decorative pavers, landscape tracts on each side, attached sidewalks, and decorative theme walls more than 70-feet off of 79th Avenue.

Landscape Maintenance Responsibilities

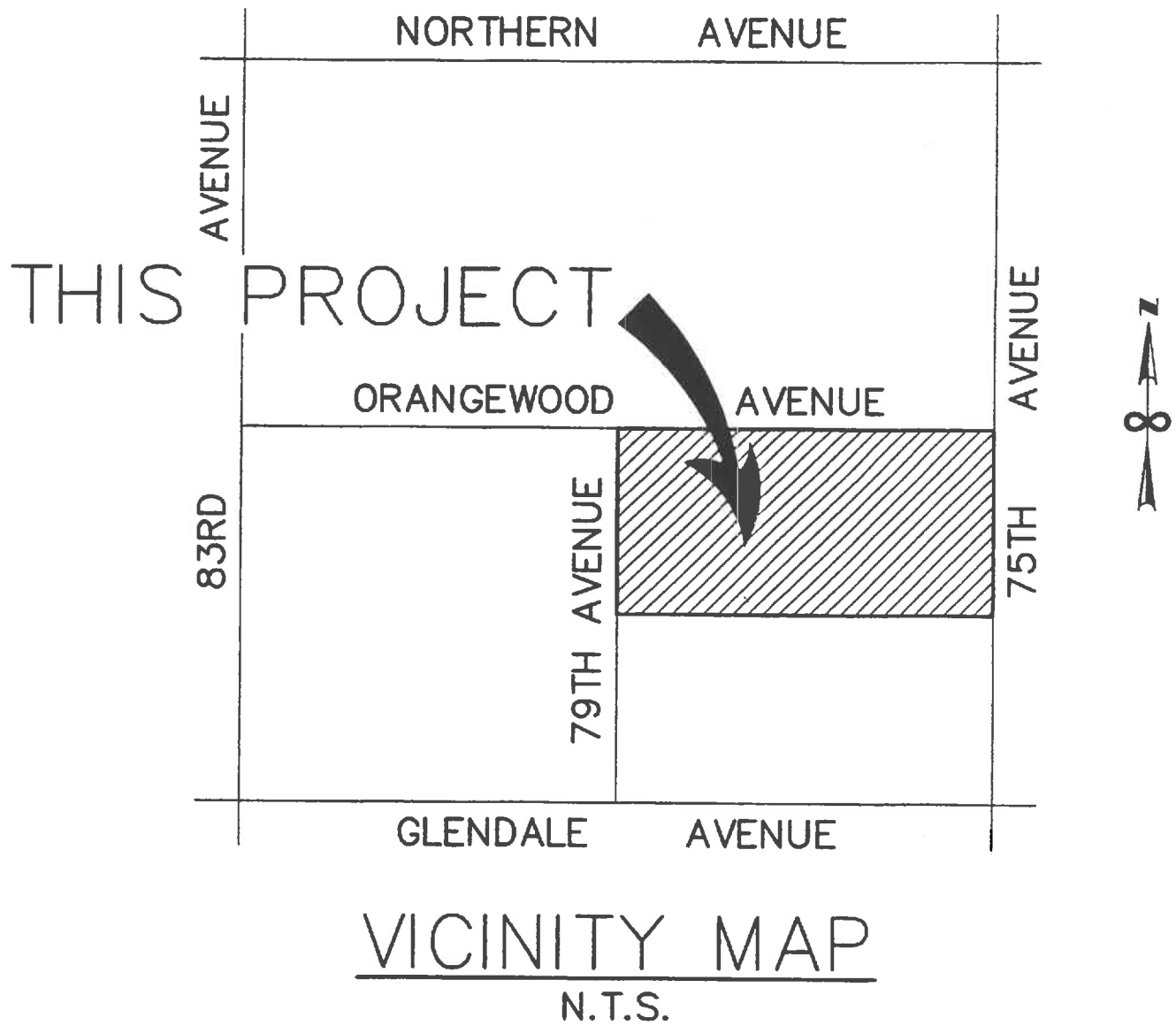
A homeowners association will own common open spaces and landscape tracts throughout the project. The subdivision plat Covenant Conditions & Restrictions (CC&R) will identify that the Homeowners' Association (HOA) will own and maintain landscaped open spaces, retention areas, pedestrian pathways, decorative perimeter walls, entry features and recreation facilities. The HOA will maintain landscaping adjacent to the project within the City arterial and collector street rights-of-way. The CC&Rs will restrict the use of single-family lots to the uses permitted by the City of Glendale Zoning Ordinance and the Orangewood Estates PRD narrative as approved by the Glendale City Council. The City of Glendale will have no maintenance responsibilities for on-site or adjacent off-site landscaping, walls, entry features, recreation facilities or landscaping.

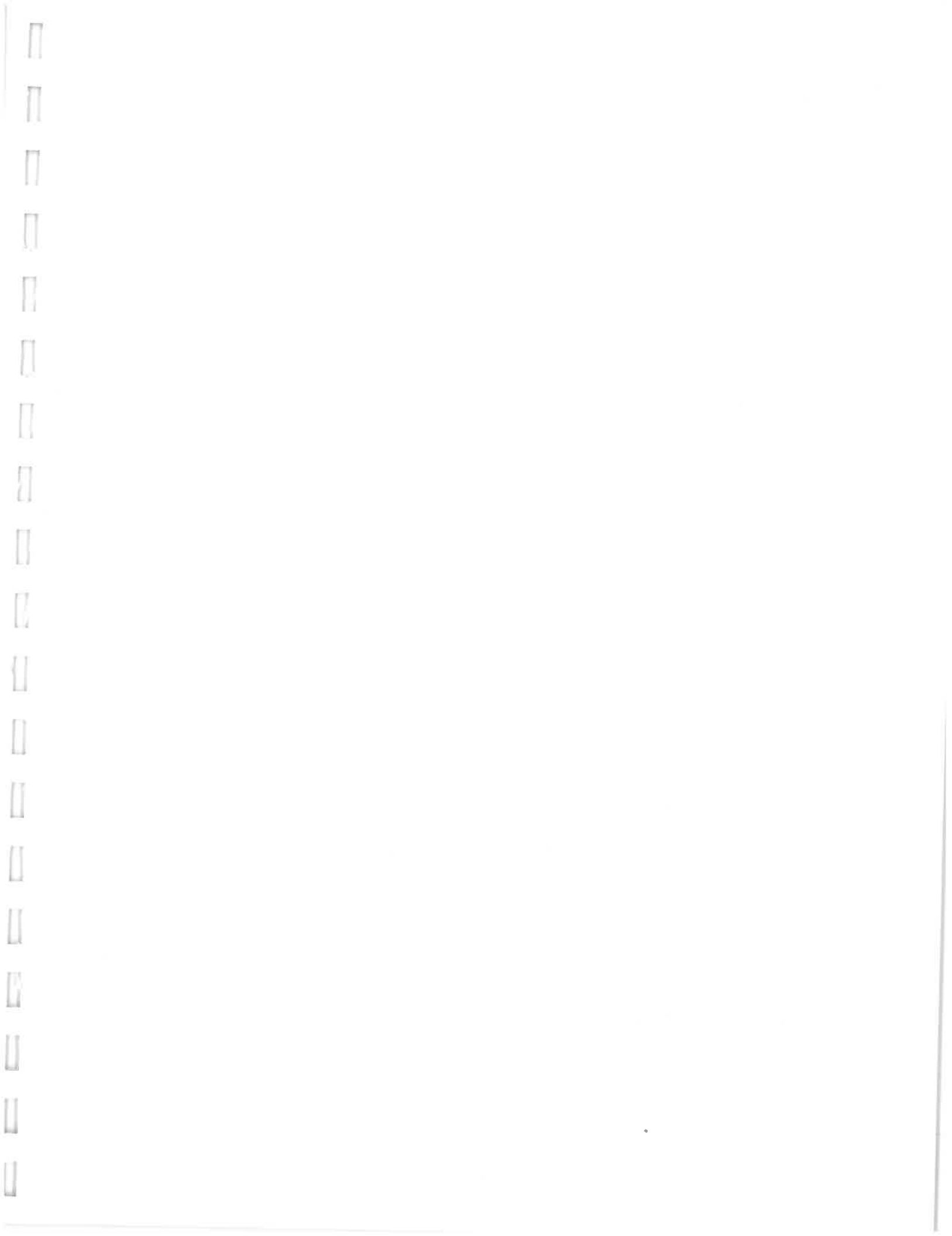
Grading and Drainage Concept

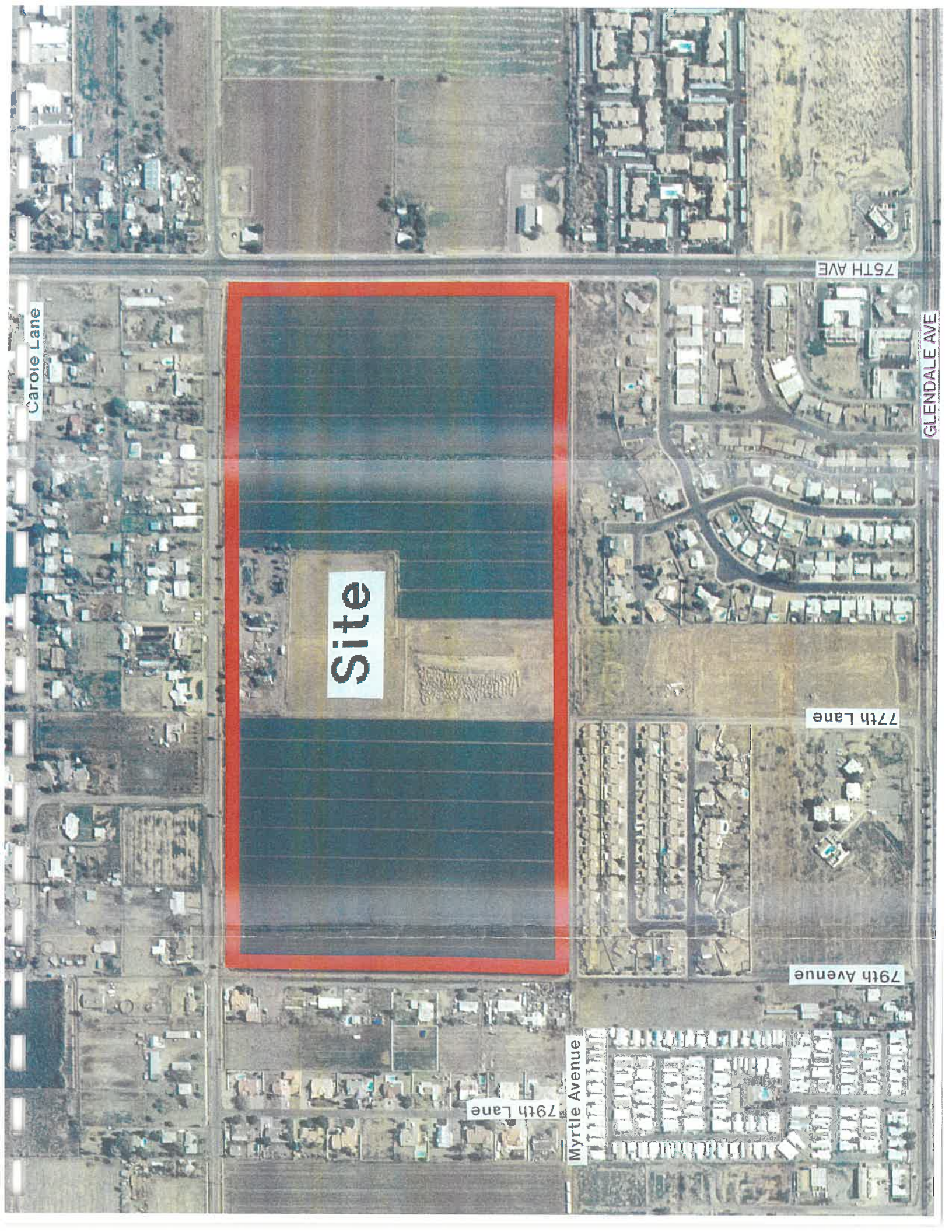
The site slopes gently from northeast to southwest. The site is designed with on-site retention areas near 77th Lane and Myrtle Avenue and near 79th Avenue and Myrtle Avenue. The site is designed to accommodate a two-hour 100-year storm event (see Exhibit F).

Public Improvements and Project Phasing

This project will finish off half-width street improvements for 75th Avenue, Orangewood Avenue, Myrtle Avenue and 79th Avenue where the site is contiguous to those streets. The improvements will include curb, gutter, sidewalk, streetlights and







Carolle Lane

Site

75TH AVE

GLENDALE AVE

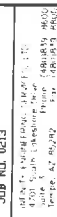
77th Lane

79th Avenue

79th Lane

Myrtle Avenue







APPROVED BY: _____

CITY OF GLENDALE - LANDSCAPE ARCHITECT _____

DATE _____

north



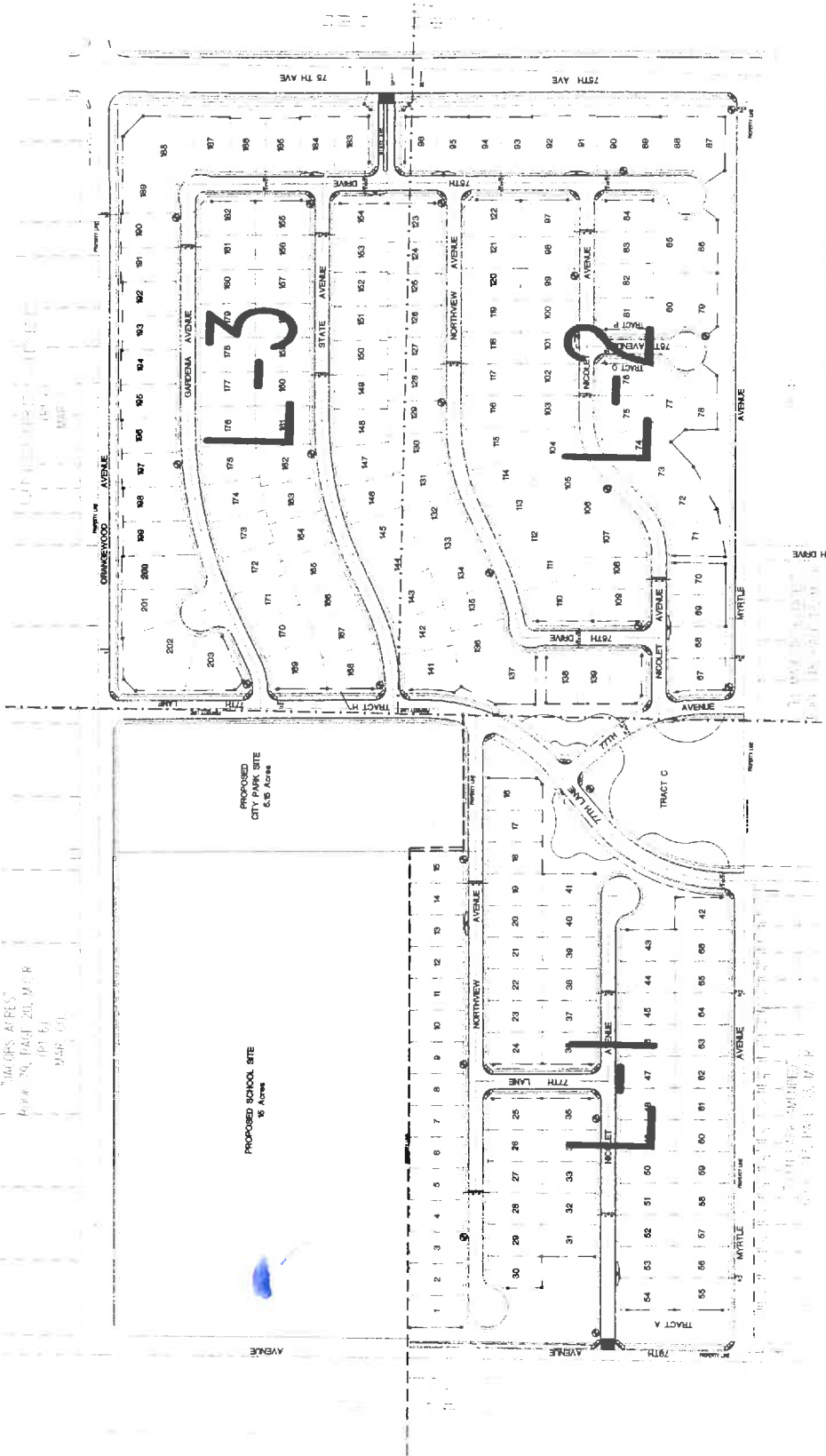
**ORANGEWOOD
ESTATES**
GLENDALE, ARIZONA



ISSUE DATE 12/20/00
SCALE AS NOTED
DRAWN DANIEL
CHECKED JIM

REVISIONS

SHEET NO. KEY 1 of 1



NOTES

DATE _____
 CITY OF GLENDALE - LANDSCAPE ARCHITECT
 APPROVED BY: _____
 T.J. MOORE & ASSOCIATES, INC.



LANDSCAPE PLAN
 SCALE: 1" = 50'-0"



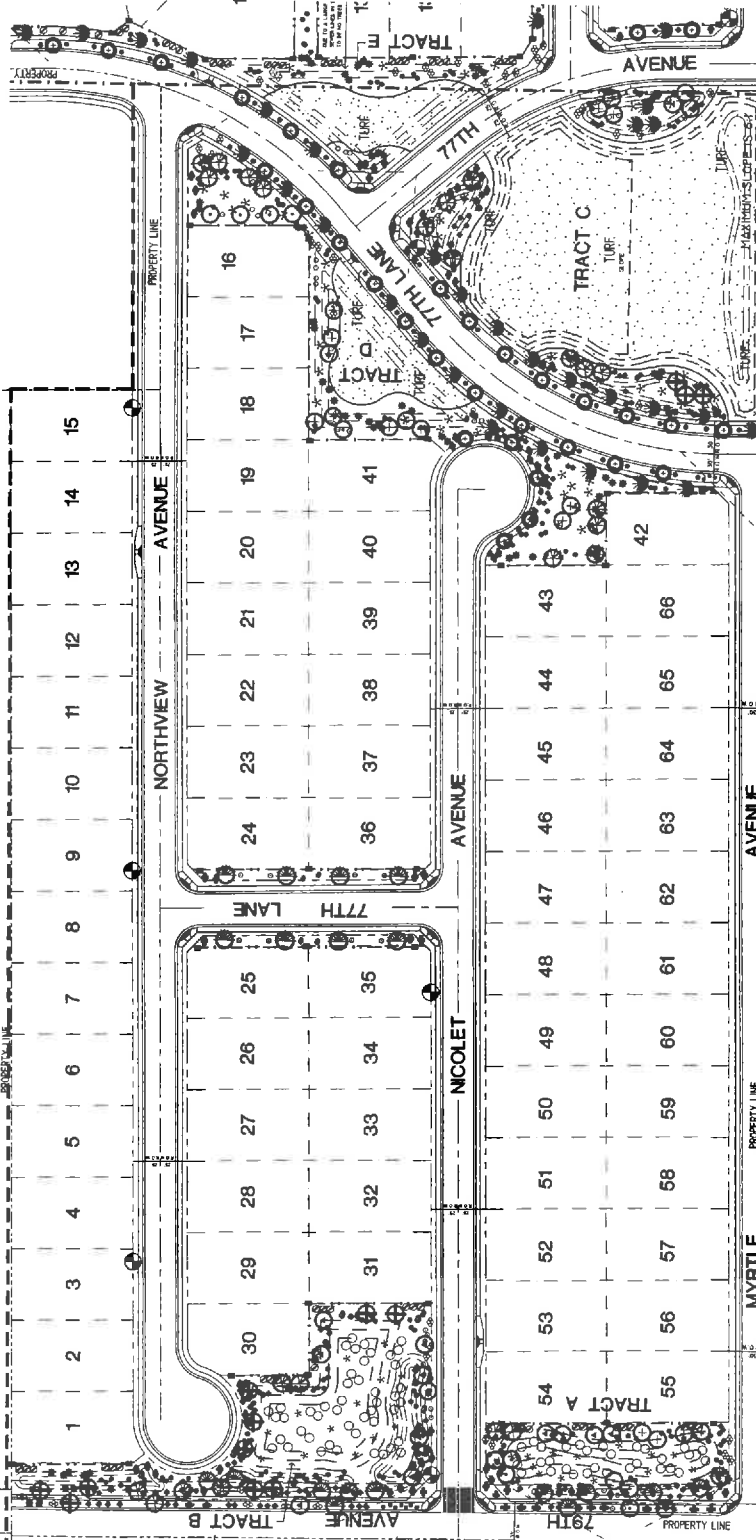
T.J. MOORE & ASSOCIATES, INC.
 LANDSCAPE ARCHITECTURE
 1131 E. McDowell Ave., Suite 219
 Glendale, Arizona 85140
 (602) 944-8800
 FAX: 628-6898

ORANGEWOOD
 ESTATES
 GLENDALE, ARIZONA



ISSUE DATE	02/01/00
DESIGNED BY	TJM
DRAWN BY	AS NOTED
CHECKED BY	TJM
REVISIONS	
SHEET NO.	L-1 of 5

MATCHLINE SEE SHEET L-2



TREE TOTALS

LEUCOPHYLLUM FRUTICOSUS	246	175
LEUCOPHYLLUM FRUTICOSUS	203	
LEUCOPHYLLUM FRUTICOSUS	157	
LEUCOPHYLLUM FRUTICOSUS	142	
LEUCOPHYLLUM FRUTICOSUS	229	
LEUCOPHYLLUM FRUTICOSUS	193	
LEUCOPHYLLUM FRUTICOSUS	97	

LANDSCAPE LEGEND

LEUCOPHYLLUM FRUTICOSUS	86
LEUCOPHYLLUM FRUTICOSUS	81
LEUCOPHYLLUM FRUTICOSUS	51
LEUCOPHYLLUM FRUTICOSUS	5
LEUCOPHYLLUM FRUTICOSUS	60
LEUCOPHYLLUM FRUTICOSUS	65

MATCHLINE SEE SHEET L-1



APPROVED BY:



LANDSCAPE PLAN
SCALE: 1" = 50'-0"



T.J. McQUEEN & ASSOCIATES, INC.
LANDSCAPE ARCHITECTURE
URBAN DESIGN
SITE PLANNING
1121 East Missouri Ave., Suite 215
Phoenix, Arizona 85014
(E-MAIL) TMAC@CSCS.COM
(602) 263-0320
FAX 268-8418

**ORANGEWOOD
ESTATES**
GLENDALE, ARIZONA



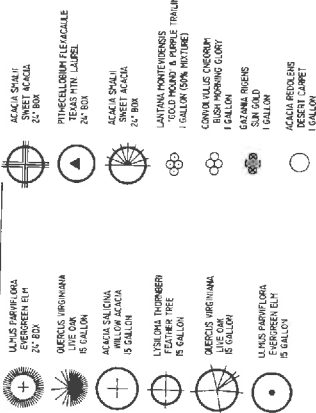
ISSUE DATE 12/20/00
SCALE AS NOTED
DRAWN DANIEL
CHECKED

EYEVISIONS

HEET NO.

5
8
7-2

LANDSCAPE LEGEND

[illegible]

APPROVED BY: _____
CITY OF GLENDALE - LANDSCAPE ARCHITECT _____
DATE _____



LANDSCAPE PLAN
SCALE: 1" = 50'-0"

SCALE: 1" = 50'-0"



T.J. McQUEEN & ASSOCIATES, INC.
LANDSCAPE ARCHITECTURE
URBAN DESIGN
SITE PLANNING
1121 East Mineral Ave., Suite 218
Phoenix, Arizona 85014
(E-mail) TM@COWIENSH.COM
(602) 263-0000

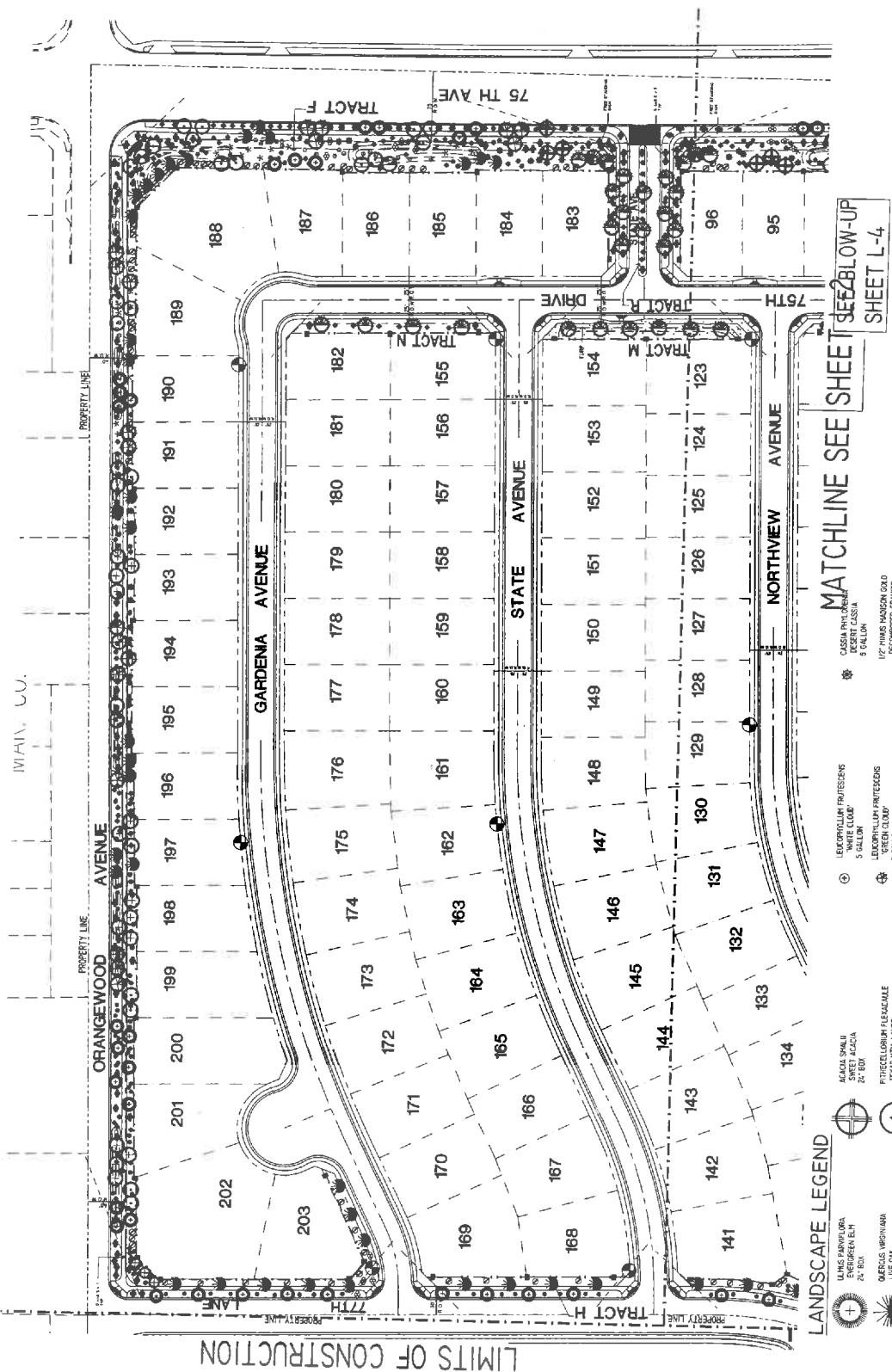
**ORANGEWOOD
ESTATES**
GLENDALE, ARIZONA



ISSUE DATE 12/20/00
SCALE AS NOTED
CHECKED DANIEL
CHECKED 1.25

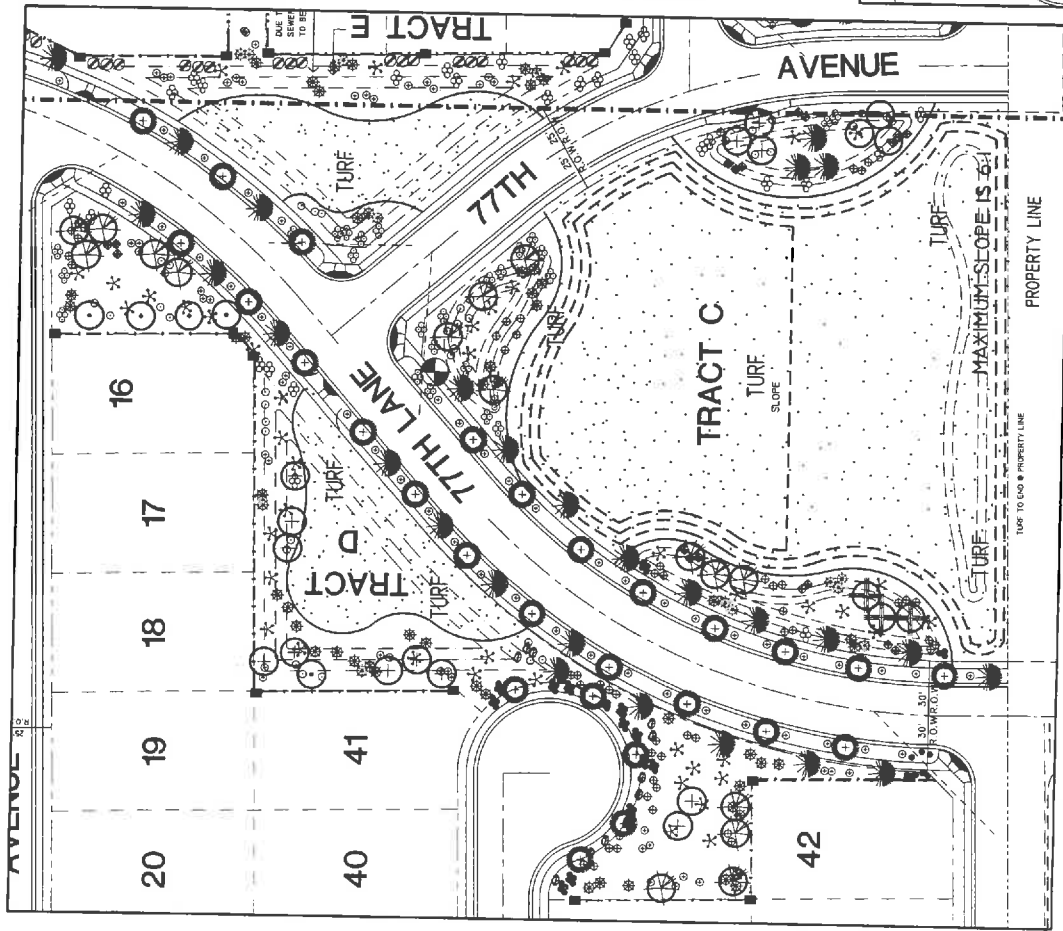
Revisions

SHEET NO. L-3 of 5

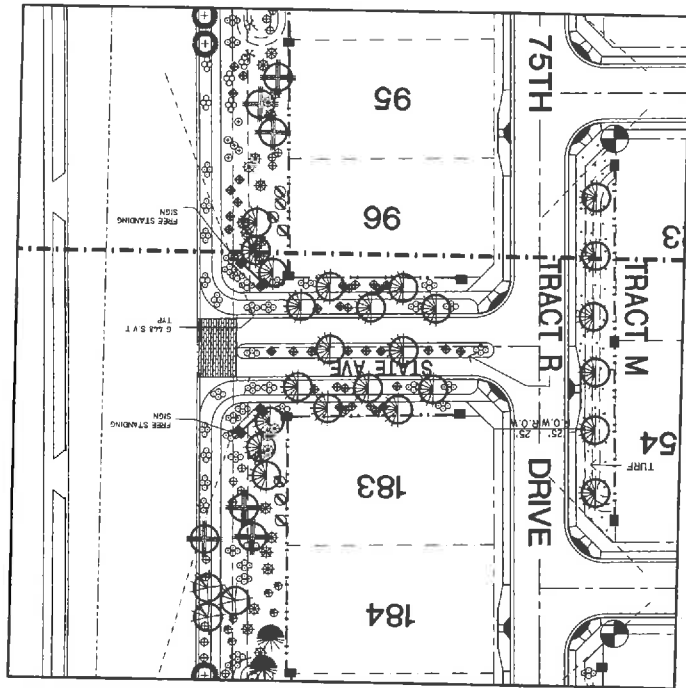


LANDSCAPE LEGEND

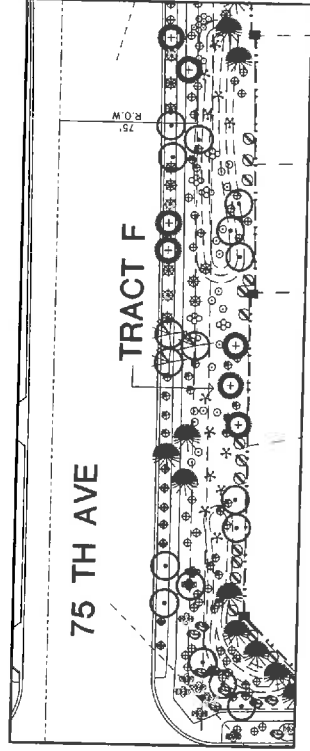
- [illegible]



TYPICAL OPEN SPACE
LANDSCAPE PLAN
SCALE: 1"=30'-0"



75TH AVE ENTRY
LANDSCAPE PLAN
SCALE: 1"=30'-0"



TYPICAL 75TH AVE STREETSCAPE
SCALE: 1"=30'-0"

NOTES:

APPROVED BY: _____

DATE: _____

CITY OF GLENDALE - LANDSCAPE ARCHITECT

TJM

T.J. MCGUIRE & ASSOCIATES, INC.
LANDSCAPE ARCHITECTS
1121 East University Ave., Suite 210
GLENDALE, ARIZONA 85301
TEL: 948-350-4810
FAX: 948-350-4810

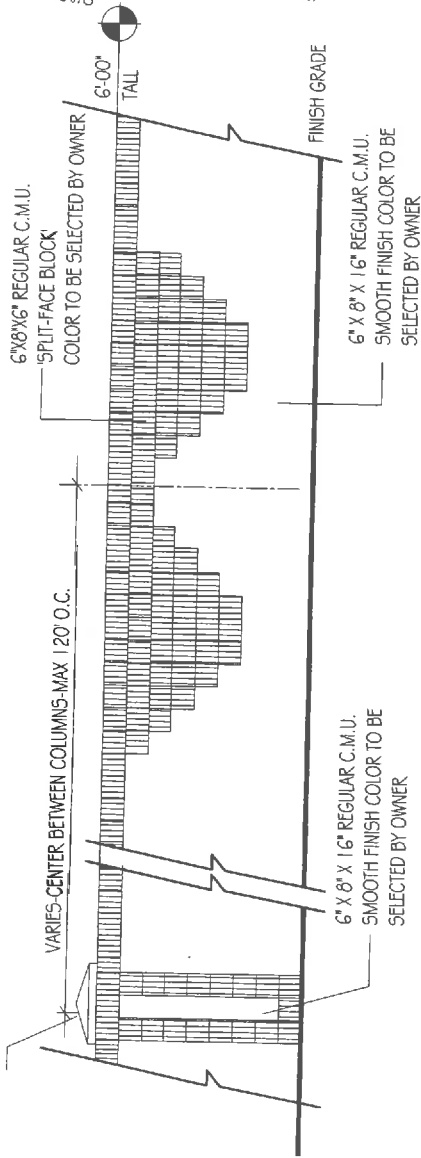
**ORANGEWOOD
ESTATES**
GLENDALE, ARIZONA

ISSUE DATE: 12/20/00
SCALE: AS NOTED
CHECKED: _____
DATE: _____

REVISIONS:

SHEET NO. **L-4** OF **5**

MASONRY COLUMN W/
PRE-CAST CONCRETE CAPS,
#P/C-28

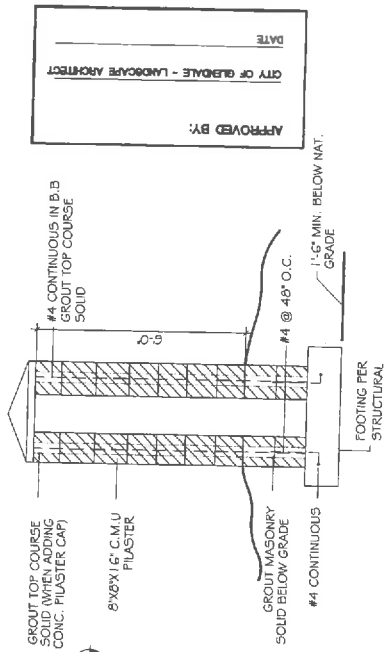


- 1) MORTAR COLOR TO MATCH BLOCK COLOR
- 2) PAINT CONCRETE CAPS TO MATCH SPLIT FACE BLOCK

6' Typical Interior/Theme Wall Detail (8' high were noted on plan) Not To Scale

THEME WALL TO BE 8' HIGH ON ON 75TH AVE ALL OTHER TO BE 6' HIGH

Plaster Detail Not To Scale



WALL/SIGNAGE DETAILS NOT TO SCALE

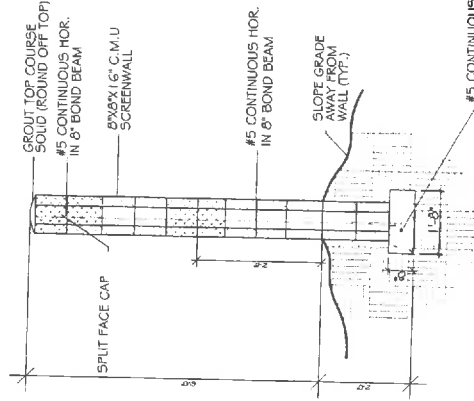


T.J. MCGOVERN & ASSOCIATES, INC.
COMMERCIAL ARCHITECTURE
1321 East McDowell Ave., Suite 218
Glendale, AZ 85143
(602) 944-1234
FAX 602-944-1235

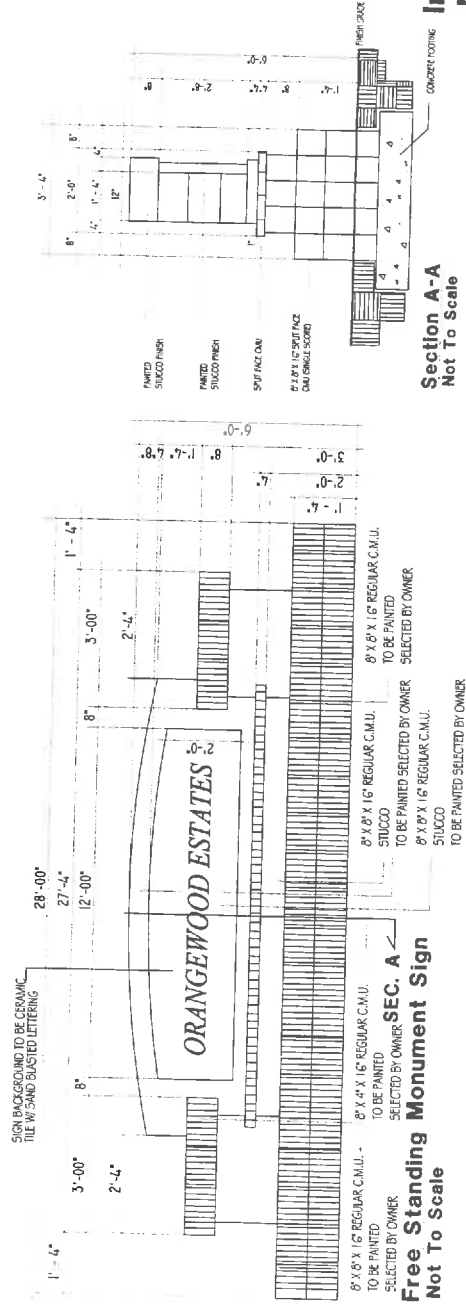
ORANGEWOOD ESTATES GLENDALE, ARIZONA



ISSUE DATE	12/20/08
SCALE	AS NOTED
CHECKED	DANIEL
DATE	1/15/09
REVISIONS	
SHEET NO.	L-5 OF 5



Interior/Theme Wall Detail Not To Scale



Free Standing Monument Sign Not To Scale

Section A-A Not To Scale



COLOR SCHEME #1



BODY:
BAUHAUS BUFF



ROOF TILE:
#012143



GARAGE DOOR:
STUCCO GRIEGE



STONE VENEER:
CSV-2055



FRONT DOOR:
DUBERRY RED

COLOR SCHEME #2



BODY:
BAUHAUS BUFF



ROOF TILE:
#032176



GARAGE DOOR:
STUCCO GRIEGE



STONE VENEER:
CSV 2055



FRONT DOOR:
DUBERRY RED

COLOR SCHEME #3




BODY:
SIENNA SAND



GARAGE DOOR:
BOTANY BEIGE



FRONT DOOR:
ELM COURT



ROOF TILE:
#012180



STONE VENEER:
CSV 2055

COLOR SCHEME #4



BODY:
SIENNA SAND




GARAGE DOOR:
BOTANY BEIGE



FRONT DOOR:
ELM COURT



ROOF TILE:
#032130



STONE VENEER:
CSV 2055

COLOR SCHEME #5



BODY:
STRATFORD BROWN



GARAGE DOOR:
ROCK BRIDGE



FRONT DOOR:
ROCK GARDEN



ROOF TILE:
#032176



STONE VENEER:
CSV 2056

BROWN FAMILY COMMUNITIES

COLOR SCHEME #6



ROOF TILE:
#032176

STONE VENEER:
CSV-2055

GARAGE DOOR:
SANDY LANE

FRONT DOOR:
BLUE COMET

COLOR SCHEME #9



ROOF TILE:
#012180

STONE VENEER:
CSV-2055

GARAGE DOOR:
LULLED BEIGE

FRONT DOOR:
DUBERRY RED

COLOR SCHEME #7



ROOF TILE:
#032130

STONE VENEER:
CSV-2055

GARAGE DOOR:
SANDY LANE

FRONT DOOR:
BLUE COMET

COLOR SCHEME #10



ROOF TILE:
#012148

STONE VENEER:
CSV-2056

GARAGE DOOR:
BAUHAUS BUFF

FRONT DOOR:
STEEPLE GRAY

COLOR SCHEME #8



ROOF TILE:
#032130

STONE VENEER:
CSV-2055

GARAGE DOOR:
LULLED BEIGE

FRONT DOOR:
JACARANDA BROWN

COLOR SCHEME #11



ROOF TILE:
#032176

STONE VENEER:
CSV-2056

GARAGE DOOR:
BAUHAUS BUFF

FRONT DOOR:
STEEPLE GRAY

BROWN FAMILY COMMUNITIES

ORANGEWOOD MANOR AND ORANGEWOOD ESTATES

FENCE RETURNS: SAHARA

PERIMETER WALL: STONISH BEIGE

MONUMENT: PEARL WHITE

MONUMENT: STONISH BEIGE

BROWN FAMILY COMMUNITIES



GRANDEWOOD AVENUE DRAINAGE INTO EXISTING STORM
DRAIN AND/OR RETAINED WITHIN CITY PARK SITE

"JACOBS ACRES"
BOOK 79, PAGE 20, M.C.R.
(R1 6)
MAR. CO.

UNSUBDIVIDED
(R1 6)
MAR. CO.

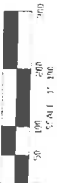
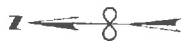
PROPOSED
SCHOOL
SITE

PROPOSED
CITY PARK
SITE

UNSUBDIVIDED

75TH AVENUE

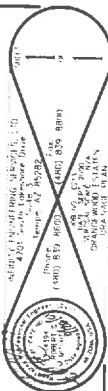
75TH AVENUE FULLY IMPROVED
(NO RETENTION PROVIDED
FOR THIS AREA)
IN LOTS 100-104, 105-109
PROVIDED IN CITY PARK SITE



"GLEN VIEW ESTATES" UNIT 1249
BOOK 103, PAGE 40, M.C.R.

"TI MARSH ESTATES"
BOOK 148, PAGE 17, M.C.R.
(R1 6)

"GLEN PARK AMENDED"
BOOK 141, PAGE 33, M.C.R.
(R2)





LEGAL DESCRIPTION
Orangewood Estates
R1-7 PRD
IES Job No. 0213
June 28, 2001

The North half of the Southeast quarter of Section 2, Township 2 North, Range 1 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona, except:

BEGINNING at the Center of said Section;
THENCE North $88^{\circ}41'43''$ East along the North line of said quarter, a distance of 1323.04 feet;
THENCE South $01^{\circ}18'17''$ East, a distance of 660.00 feet to the beginning of a tangent curve to the right having a radius of 350.00 feet;
THENCE Southwesterly along said curve through a central angle of $17^{\circ}59'17''$, an arc length of 109.88 feet;
THENCE South $88^{\circ}48'13''$ West, a distance of 275.86 feet;
THENCE North $01^{\circ}11'47''$ West, a distance of 135.00 feet;
THENCE South $88^{\circ}48'13''$ West, a distance of 1039.01 feet to a point on the West line of said quarter.
THENCE North $00^{\circ}29'37''$ West, along said West line, a distance of 630.66 feet to the point of BEGINNING.

Said Parcel containing 59.44 acres gross.

