

DESERT MIRAGE ESTATES

A 103 LOT RESIDENTIAL DEVELOPMENT ON 36 ACRES
LOCATED ON THE WEST SIDE OF 83RD AVENUE,
NORTH OF BETHANY HOME ROAD
GLENDALE, ARIZONA

Z-98-11

DEVELOPMENT PLAN APPROVAL FOR
A R1-8 PRD ZONED RESIDENTIAL PROPERTY

MARCH 18, 1998

REVISED: JUNE 23, 1998

REVISED: JULY 06, 1998

SUBMITTED TO:

City of Glendale Planning Department
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APPROVED PLAN
COMMUNITY DEVELOPMENT
CITY OF GLENDALE

See approved City Council
Stipulations of 9-8-98
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AUG 18 1998

Glendale Planning Dept.

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ENGINEERING, INC.

Civil Engineering • Surveying • Environmental

DESERT MIRAGE ESTATES

R1-8 PRD DEVELOPMENT PLAN

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DESERT MIRAGE ESTATES

R1-8 PRD DEVELOPMENT PLAN

EXHIBITS

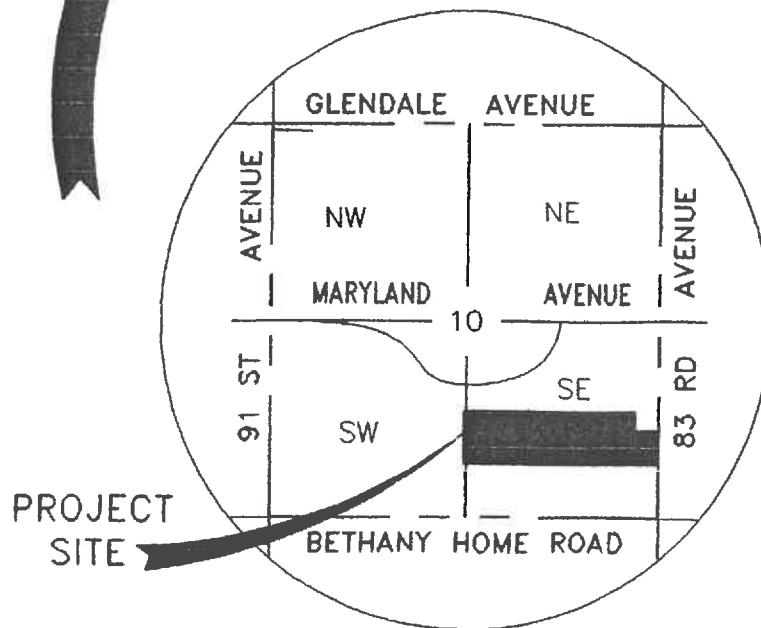
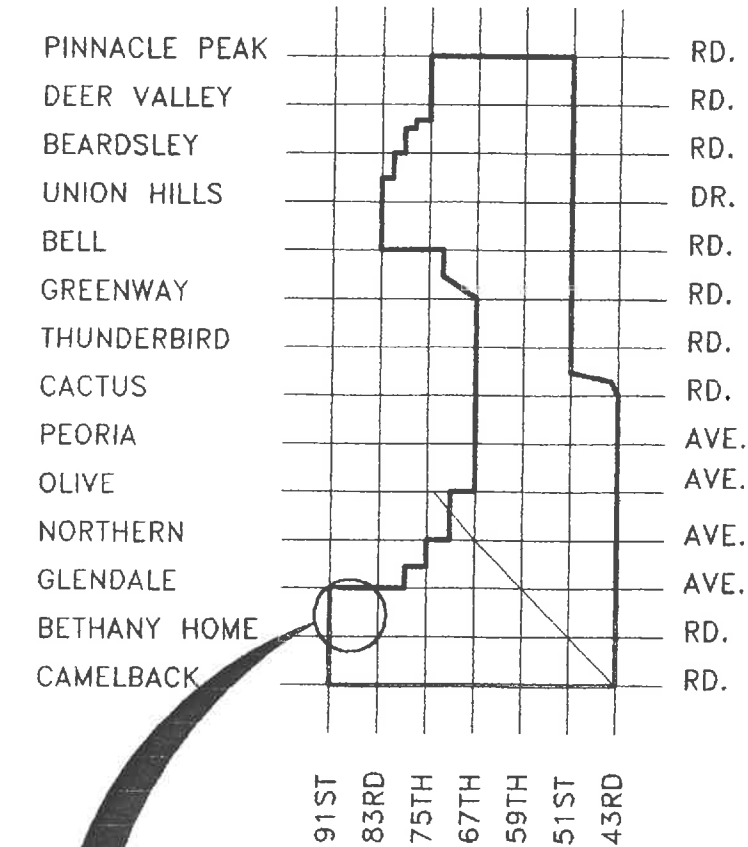
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VICINITY MAP

EXHIBIT 1

DESERT MIRAGE ESTATES

WEST SIDE OF 83RD AVENUE, NORTH OF BETHANY HOME ROAD; GLENDALE, ARIZONA



June 18, 1998

Reviewed By
Mike Rhodes

Prepared By
Gary Claybaugh

97050

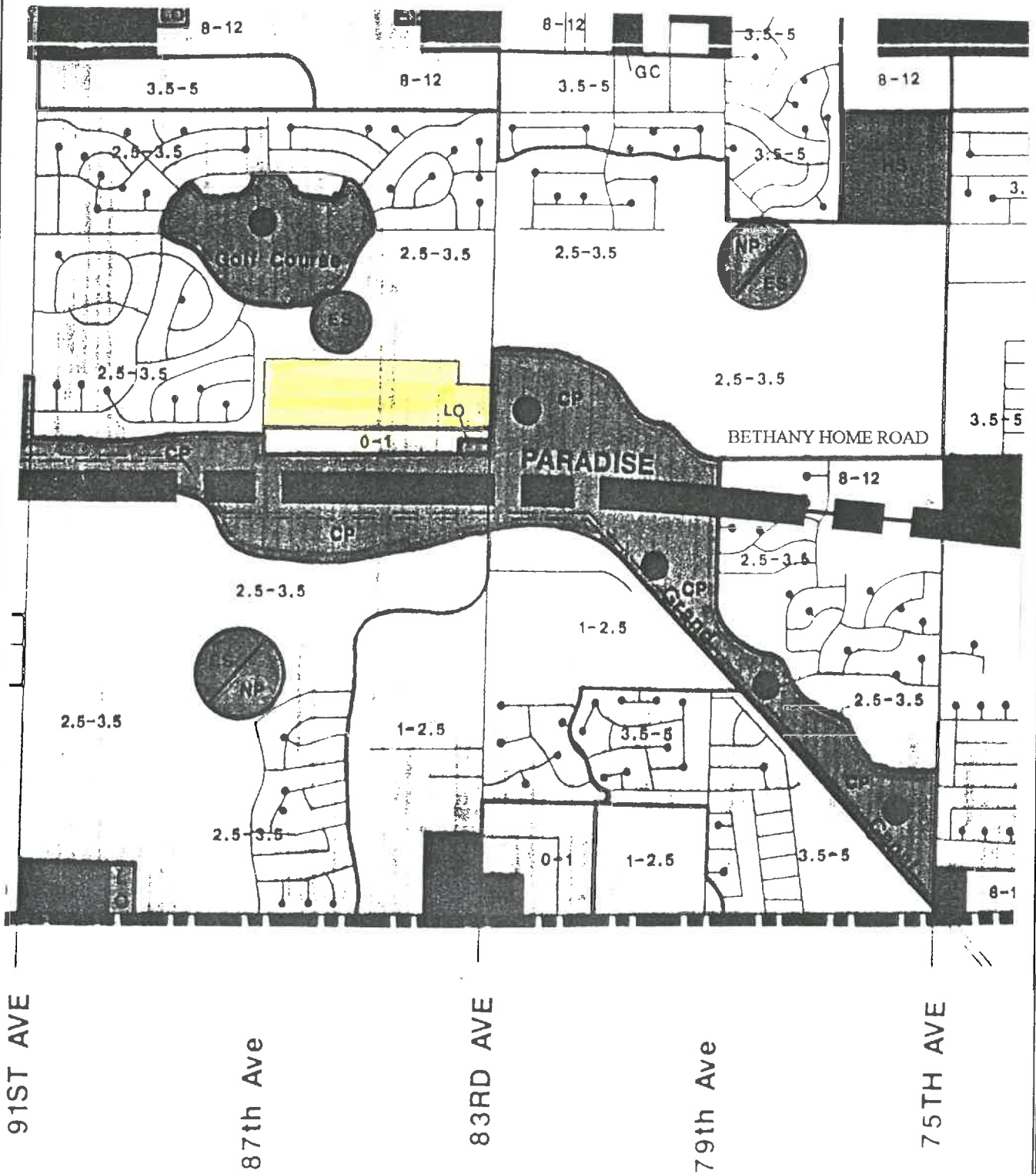
LANDMARK
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GENERAL PLAN LAND USE MAP

EXHIBIT 2

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WEST SIDE OF 83RD AVENUE, NORTH OF BETHANY HOME ROAD, GLENDALE, ARIZONA



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DESERT MIRAGE ESTATES

1.0 PROJECT SUMMARY

Desert Mirage Estates is a 36.2 acre site that is located on the west side of 83rd Avenue, just north of Bethany Home Road. This residential subdivision site being proposed by Ditz-Crane Homes is presently zoned R1-8 PRD and is being submitted to the City of Glendale with a formal request for review and approval of the Development Plan under the Planned Residential Development (PRD) zoning overlay. This submittal will also illustrate the special design features we intend to implement to provide a transitional blend with the larger lot homes to the south and make this a very special neighborhood.

Desert Mirage Estates is a thoughtfully planned residential development that will provide its residents and the existing neighborhood a wonderful living environment. The landscaped entry and theme wall for Desert Mirage Estates along with its main residential street having six spaced landscaped medians give a warm, pleasing identity for this community. The landscaped pathway connecting the subdivision to the Desert Mirage Park and the new Desert Mirage Golf Course to the north along with the interior landscaped pathway offer pedestrian/bicycle access links for the residents to the variety of recreational areas. The Desert Mirage Estates residential community will be constructed in one phase.

Desert Mirage Estates provides an opportunity for Ditz-Crane Homes to showcase nine different homes with three different elevations for each home. This variety of homes and the varying looks will create a diversity within Desert Mirage Estates and add to the character of the subdivision as well as the surrounding developments. Both single story and two story homes will be offered with many luxury features. The standard exterior features include concrete mission style tile roofs and fully stuccoed exteriors with a minimum of six color choices. The home will also have ground mounted air conditioning units, dual pane windows and a combination of standard and optional covered patios. Their interiors include ceramic tile entries, luxurious bath suites and gourmet kitchens. The distinct location of Desert Mirage Estates is ideal for the product.

The 2.52 acres of open space/retention area will be landscaped to maximize the turf area and create a visual and active use area for families to enjoy. The lush landscaped entries and decorative wall designs on 83rd Avenue will be a continuation and enhancement of the appealing entry look of the Glendale Parkside development to the north of Desert Mirage Estates. The five interior open space tracts will be dedicated and maintained by a homeowner's association. The City of Glendale will not be responsible for the maintenance of any open space within this development.

The quality intended by Ditz-Crane Homes for this project is illustrated throughout this PRD Development Plan package. The landscaping, the streetscape, and the useable open space will all be complemented by the high quality housing product Ditz-Crane Homes proposes to build. The floor plans, residential elevations and standard features proposed for homes in Desert Mirage Estates are illustrated in the Development Standards section of this document.

This PRD Development Plan for the project has been prepared to reflect how Desert Mirage Estates will be designed and developed as the type of subdivision that is characteristic of the single family residential development that the City of Glendale is striving to bring to their community.

DESERT MIRAGE ESTATES

1.1 AREA DESCRIPTION

Desert Mirage Estates is located within the city limits of the southern portion of Glendale, Arizona. This area is experiencing substantial new growth of R1-8 PRD and R1-6 PRD single family residential subdivisions. The immediate areas to the north and south of Desert Mirage Estates offer recreational facilities including a new park, a golf course (soon to be under construction) and a proposed enhancement by the City of Glendale of the recreation opportunities along the banks of the Grand Canal. This area of the community is reflective of the type of quality growth and amenities that the City of Glendale is striving to achieve for its present and future residents.

The land use within a one-quarter mile radius of Desert Mirage Estates may be characterized as being a mixture of single family residential homes, limited commercial uses, the Grand Canal, agricultural uses and undeveloped land.

North: The adjoining land to the north of Desert Mirage Estates is a combination of the Desert Mirage Park, the Desert Mirage Pendergast Elementary School and a new single family subdivision, Glendale Parkside. This subdivision is zoned R1-8 PRD. Adjacent to the northeast corner of Desert Mirage Estates are two individual single family homes that are also zoned R1-8 PRD.

East: Desert Mirage Estates fronts on 83rd Avenue. The adjoining land to the east is the proposed Woodland Ranch. This subdivision is presently not under construction. Woodland Ranch is zoned R1-6 PRD.

South: The adjoining land to the south has 15 existing single family residential lots, some with horses, that are adjacent to Desert Mirage Estates. These 15 lots are a combination of individual parcels of land with homes and two recorded and developed subdivisions, Newhall Acres and Double "T" Ranch. This overall small enclave of homes is zoned SR-30.

West: The adjoining land to the west is a developed single family subdivision, La Buena Vida, Phase II. This subdivision is also zoned R1-8 PRD.

DESERT MIRAGE ESTATES

1.2 PROJECT DESIGN CONDITIONS

1.2.1 Area Traffic Circulation and Design

83rd Avenue provides access to Desert Mirage Estates. This road is identified as a 120 foot right-of-way arterial street in the City of Glendale Design Guidelines. This arterial is an existing paved road that will provide primary access to Desert Mirage Estates. There are two additional access streets into the subdivision from the adjacent developed subdivisions to the north and west. Within the project, there are several residential interior streets and cul-de-sacs that flow into the main east/west street, Berridge Lane.

The west half of 83rd Avenue will be constructed as a 120 foot right-of-way arterial street to match the existing street configuration established by the Glendale Parkside development to the north. This road will be designed under the criteria established under the City of Glendale Design Guidelines. All interior streets of this development will be constructed as 50 foot right-of-way residential streets. Berridge Lane, the main entry street into this development, is proposed to be enhanced with five landscaped medians and a landscaped traffic circle. These six landscaped features will be installed in Berridge Lane from 83rd Avenue west to 85th Lane (see PRD Development Plan). All interior residential streets, including the section of Berridge Lane with the landscaped medians, will be designed as per the City of Glendale Design Guidelines.

1.2.2 Utilities

- Water:** Desert Mirage Estates is located in the water service area of the City of Glendale. There is an existing, accessible water line in the 83rd Avenue right-of-way and accessible water lines in the existing housing developments to the north, west and south. The water system for this subdivision will be designed to integrate with these water lines.
- Sewer:** Desert Mirage Estates is located in the sewer service area of the City of Glendale. There is an existing, accessible sewer line in the right-of-way of Berridge Lane in La Buena Vida Phase II, the housing development to the west. The sewer system for this subdivision will be designed to flow into this existing sewer line.
- Electric:** Desert Mirage Estates is located in the service area of Arizona Public Service (APS). There is an existing, accessible electric service in the 83rd Avenue right-of-way and accessible electric service in the existing housing developments to the north and west. All electric service to this development will be underground.
- Gas:** Desert Mirage Estates is located in the service area of Southwest Gas Company. There is an existing, accessible 2 inch gas line at the intersection of 84th Drive and Rose Lane in the adjacent subdivision to the north, Glendale Parkside. Gas service into Desert Mirage Estates will be designed to integrate with the existing gas service in the area.
- Irrigation:** Desert Mirage Estates is located in Area 23 of the Salt River Valley Water Users' Association (SRVWUA). There is existing, approximately 3 foot wide, private concrete irrigation water delivery ditch that runs parallel to the eastern boundary line of the property. This irrigation ditch will be replaced by an underground delivery pipe.

DESERT MIRAGE ESTATES

1.2.3 Storm Drainage

Historical drainage for the area is southwesterly and towards the New River. A very minor amount of offsite drainage enters Desert Mirage Estates from the park and/or the elementary school to the north. The balance of the surface drainage from the north is contained within the existing retention basins in the adjacent Glendale Parkside subdivision. Drainage from the presently undeveloped land to the east has been redirected and controlled within the right-of-way for 83rd Avenue. On-site runoff will be routed through Desert Mirage Estates utilizing the streets and drainage easements. This on-site drainage will be directed into a grass lined retention basin, the "Tract A" Retention & Landscape Basin, located in the southwest corner of the development. A drainage report and drainage plan, based on this concept, will be prepared for approval by the City of Glendale. The retention basin will be sized for a 100 year, 2 hour storm.

The retention basin for Desert Mirage Estates will provide one (1) foot of freeboard. The basin will provide flow through for all basin overflows without ponding in the streets of the subdivision. The retention basin will be constructed with 6:1 minimum side slopes adjacent to the street right-of-ways and will be constructed with 4:1 minimum side slopes adjacent to the lots. All cross sections for this retention basin and the adjacent streets are shown in the Preliminary Drainage Report that has been submitted for review to the Engineering Department of the City of Glendale.

1.2.4 Pad Elevations

The Finish Floor elevations for all lots in Desert Mirage Estates will meet FHA requirements and will be a minimum of fourteen (14) inches above the adjacent low side top of curb elevation. The pads will also be constructed to be a minimum of one (1) foot above the Emergency Overflow Elevation.

1.3 EXISTING ZONING AND GENERAL PLAN DESIGNATION

The existing zoning for the Desert Mirage Estates site is R1-8 PRD, Single Residence to be developed under a Planned Unit Development criteria. This Zoning District allows for the development of a variety of single residence detached dwellings. This zoning was placed on this property under two 1984 zoning cases. The first zoning case, Z-84-34, was the initial zoning case which gave an overlay zoning for a four square mile area of land when the land was annexed into the City of Glendale from Maricopa County. A second zoning case, Z-84-66, superseded the original zoning case and it established the present zoning for the area containing the Desert Mirage Estates property under the zoning and densities established by the Western Glendale Community Plan.

The property is now zoned R1-8 PRD (Z-84-66) subject to stipulations which allows a density of **3.5 units per gross acre**, which may be increased by public land dedication as provided by the Western Glendale Community Plan. The density that is proposed for the 103 lots designed for Desert Mirage Estates under this PRD Development Plan is **2.85 units per gross acre**.

1.4 AREA DEVELOPMENT COMPATIBILITY

Desert Mirage Estates is to be built under its existing R1-8 PRD zoning, and has been designed to blend with the R1-8 PRD residential developments adjacent to the north and west. The average lot size of Desert Mirage Estates is 11,370 square feet. The lots in the subdivision are designed to have a minimum lot width of 70 feet and a minimum lot depth of 109 feet. The minimum lot size will be 8,000 square feet.

DESERT MIRAGE ESTATES

The southern portion of Desert Mirage Estates has been designed with oversized lots that have been designed to mirror the lot width of the existing, older single family development to the south. These large residential properties to the south of Desert Mirage Estates were originally developed approximately 20 years ago under existing Maricopa County zoning prior to the annexation of this overall area into the City of Glendale. The zoning of this residential area is SR-30. These properties are primarily made up of two recorded subdivisions named Newhall Acres and Double T Ranch. The minimum lot size in Newhall Acres is 36,300 square feet. The minimum lot size in Double T Ranch is 47,000 square feet. There are a total of 15 residential lots in these developments that back up to the southern boundary of Desert Mirage Estates.

The Desert Mirage Estates development only has 11 proposed lots that have a common rear property corner on the southern boundary of the subdivision. These 11 lots have an average square footage of **20,839 square feet**, and range from the smallest lot having a total of 15,574 square feet to the largest lot containing 24,593 square feet.

The proposed Woodland Ranch development to the east of Desert Mirage Estates is zoned for a higher density with smaller lots under R1-6 zoning. Based on the types of residential development adjacent to Desert Mirage Estates, the 103 proposed lots are very diverse in their design and sizing.

1.5 PROJECT C.C.&R.S

The developer has created and will record a set of Covenants, Conditions, and Restrictions (C,C&Rs) establishing a homeowner's association (HOA) which will be responsible for the maintenance of the landscaping in all common areas and rights-of-ways.

A Preliminary Draft of the C,C&Rs for Desert Mirage Estates has been submitted to the City of Glendale Planning Department for review and acceptance.

1.6 DEVELOPMENT AGREEMENT

Based on safety and access concerns raised by several neighbors during the Citizen Participation meetings, Ditz-Crane Homes has agreed to pursue a Development Agreement for Desert Mirage Estates. Ditz-Crane Homes will work with the City of Glendale and develop the half right-of-way of west 83rd Avenue adjacent to the north and south of their frontage in this development. The Development Agreement would outline the construction of this right-of-way in exchange for a reduction in the impact fees normally assessed for this type of residential development.

DESERT MIRAGE ESTATES

1.7 LEGAL DESCRIPTION

PARCEL 1 DESCRIPTION

BEGINNING at the Northeast corner of the South half of the Southeast quarter of Section 10, Township 2 North, Range 1 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona;
Thence West 33 feet to the TRUE POINT OF BEGINNING;
Thence Westerly 1358.40 feet along the North line of the South half of the Southeast quarter of said Section to a point;
Thence Southerly 625.39 feet to a point;
Thence Easterly 1358.40 feet to a point 33 feet West of the East section line;
Thence Northerly 628.87 feet to the TRUE POINT OF BEGINNING;
EXCEPT a parcel of land described as follows:
BEGINNING at the Northeast corner of the South half of the Southeast quarter of Section 10, Township 2 North, Range 1 East;
Thence West 33 feet to a POINT OF BEGINNING;
Thence West 222 feet along the North line of the South half of the Southeast quarter;
Thence South and parallel to the East line of said Section 237 feet to a point;
Thence East and parallel to the North line a distance of 222 feet;
Thence North 237 feet to POINT OF BEGINNING; and
EXCEPT the East 33 feet; and
EXCEPT the East 17 feet of a parcel of land described as follows:
BEGINNING at the Northeast corner of the South half of the Southeast quarter of Section 10 Township 2 North, Range 1 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona;
Thence Westerly 1358.40 feet along the North line of the South half of the Southeast quarter of said Section to a point;
Thence Southerly 625.39 feet to a point;
Thence Easterly 1358.40 feet to a point 33 feet West of the East section line;
Thence Northerly 626.87 feet to the TRUE POINT OF BEGINNING;
EXCEPT the North 237 feet thereof; and
ALSO EXCEPT the South 313.44 feet thereof.

PARCEL 2 DESCRIPTION

BEGINNING at the Northeast corner of the South half of the Southeast quarter of Section 10, Township 2 North, Range 1 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona;
Thence Westerly 1391.40 feet to the TRUE POINT OF BEGINNING;
Thence continuing Westerly 1258.31 feet along the North line of the South half of the Southeast quarter of Section 10 to a point;
Thence Southerly 624.06 feet to a point;
Thence Easterly 1258.02 feet to a point;
Thence Northerly 625.39 feet to the TRUE POINT OF BEGINNING.

DESERT MIRAGE ESTATES

2.0 CONCEPTUAL LANDSCAPE PLAN

A conceptual landscape plan has been designed for Desert Mirage Estates by Neill/Vecchia & Associates, Inc. A summary of the design criteria is presented in the following sections.

2.1 SUBDIVISION THEME WALL

The perimeter theme wall on 83rd Avenue, the theme wall along the southern and eastern sides of the retention basin, and the theme wall on both sides of Tract "B" and Tract "C" shall be decoratively designed to meet current City of Glendale standards. The developer will construct the wall with 6" by 8" by 16" CMU Block with Patchwork Stucco. The top course of the wall will be constructed with 8" by 8" by 16" CMU Block with Patchwork Stucco. The color of the theme wall will match the wall color used in the Glendale Parkside development to the north. The 2' 6" by 2' 6" columns of the theme wall will be 6 feet tall and will be constructed with 2' 0" by 2' 0" CMU Block with Simulated Ledge Stone. A concrete cap block, colored to match the wall will be placed on each column. The developer will provide columns at wall ends and at maximum of a 100' spacing.

A standard 6 foot tall subdivision perimeter wall colored in desert hues will be provided at the northeast corner of the subdivision, along the common boundary line with the single residential home fronting on 83rd Avenue. This same wall will be placed east of the subdivision's retention basin along the balance of the southern boundary of the development. This perimeter wall will also be provided along the northern boundary of the subdivision adjacent to the Desert Mirage Park and the Pendergast Elementary School properties. This perimeter wall will be built to tie in with the existing perimeter block walls on the western boundary line and portions of the northern boundary line of Desert Mirage Estates. These perimeter walls were built as part of the development of the La Buena Vida subdivision to the west and the Glendale Parkside subdivision to the north.

The theme wall and the perimeter wall for Desert Mirage Estates will be maintained by the Homeowner's Association.

2.2 SUBDIVISION AND RIGHT-OF-WAY LANDSCAPING

Landscaping will be provided along the arterial street serving this subdivision and will be placed in the retention basin, the two entry tracts, the two interior pathway tracts, and the medians and traffic circle designed in Berridge Lane. The landscaping will, at a minimum, fulfill the requirements identified in the City of Glendale Design Guidelines. Landscape materials will be drought tolerant and will be subject to review and approval by the City of Glendale. All landscaping will be done in accordance with ADWR water conservation guidelines. Plant materials will be selected from the approved ADWR plant list.

2.2.1 83rd Avenue

Landscaping will be provided within the western right-of-way for 83rd Avenue. The landscaping will be designed to meet current City of Glendale standards. The landscaping along 83rd Avenue will be maintained by the Homeowner's Association.

DESERT MIRAGE ESTATES

2.2.2 Retention Basin

Landscaping will be provided within the retention basin in the subdivision. The landscaping will be designed to meet current City of Glendale standards. The landscaping within this open space basin will be maintained by the Homeowner's Association.

2.2.3 Entry and Collector Street Median Feature

A series of five (5) landscaped medians and a landscaped traffic circle will be staggered and placed along the eastern portion of Berridge Lane. The initial landscaped median will be at the main entrance off of 83rd Avenue into Desert Mirage Estates. The five medians will each be approximately 20 feet long and 8 feet wide. The landscaped traffic circle will be at the intersection of Berridge Lane and 84th Drive. These streetscape medians will be designed to meet current City of Glendale standards. The medians and the traffic circle will be maintained by the Homeowner's Association.

2.2.4 Access and Drainage Tracts

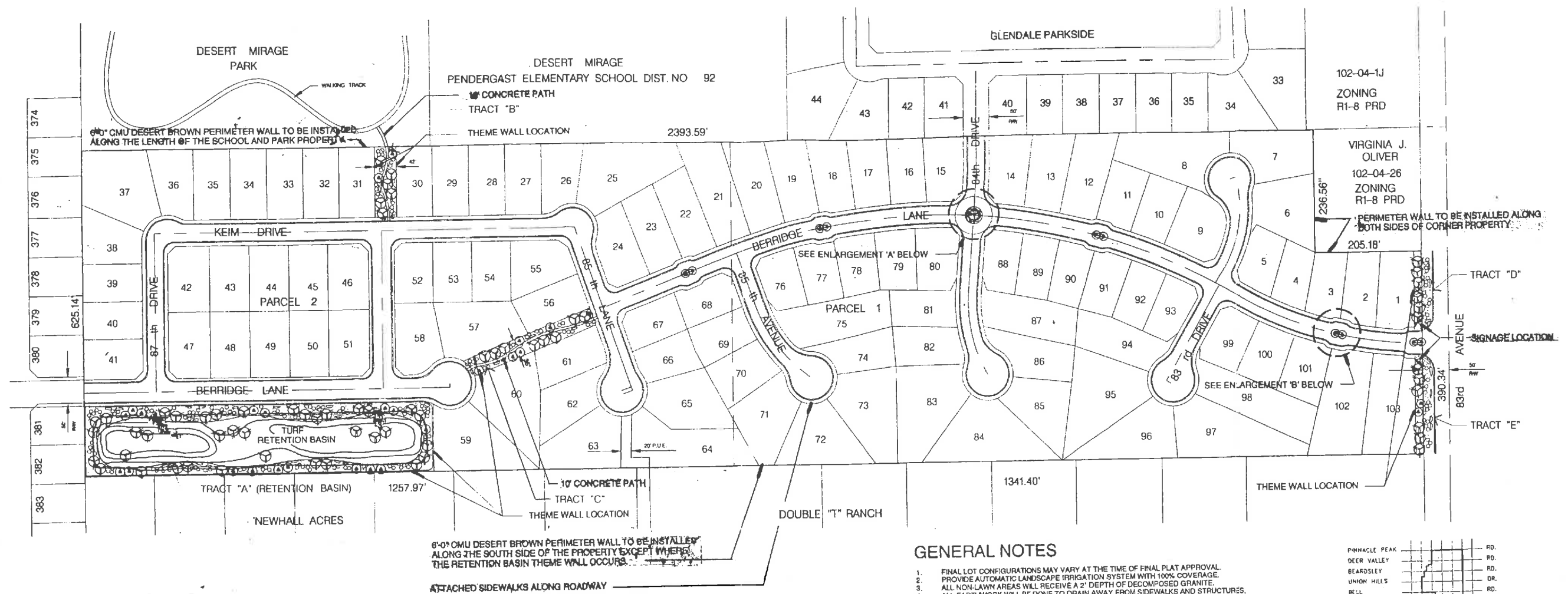
Two (2) tracts have been designed for this development to provide access for pedestrians and bicyclists. These tracts have been placed to provide easy, direct flow to either the park, elementary school and the new golf course to the north, or to the landscaped retention basin for this development. The northern pathway, Tract B, is 40 feet wide and has been designed to provide access to the school and park to the north. A 10 foot wide concrete pathway within this landscaped tract will be extended to connect with the existing concrete walking track in the Desert Mirage Park.

The interior pathway, Tract C, is 30 feet wide and provides convenient access for the Desert Mirage Estates homeowners to the to the recreational opportunities afforded by the landscaped retention basin. Tract C has also been designed to serve as a underground utility easement and a drainage tract.

The tracts will have a paved sidewalk, landscaping and lighting. The lighting will consist of three (3) "candle lights" in each tract. The candle lights will be ground mounted. Both tracts will be designed to meet current City of Glendale standards and will be maintained by the Homeowner's Association.

2.2.5 Home Landscaping

A front yard Landscaping Package will be optional. All landscaping will be done in accordance with the Department of Water Resources (ADWR) water conservation guidelines. Plant materials will be selected from the approved ADWR plant list.

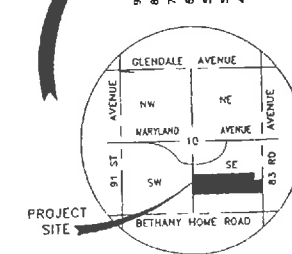
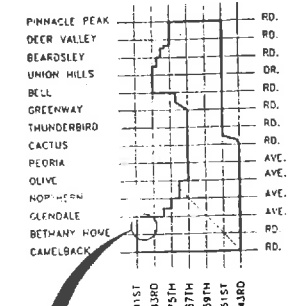


GENERAL NOTES

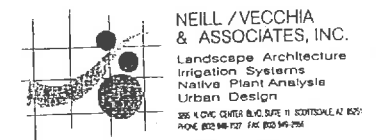
1. FINAL LOT CONFIGURATIONS MAY VARY AT THE TIME OF FINAL PLAT APPROVAL.
2. PROVIDE AUTOMATIC LANDSCAPE IRRIGATION SYSTEM WITH 100% COVERAGE.
3. ALL NON-LAWN AREAS WILL RECEIVE A 2" DEPTH OF DECOMPOSED GRANITE.
4. ALL EARTHWORK WILL BE DONE TO DRAIN AWAY FROM SIDEWALKS AND STRUCTURES, AND WILL NOT IMPEDE NATURAL DRAINAGE BASEMENTS.
5. DRAINAGE TRACTS WILL BE LANDSCAPED IF SUBSURFACE DRAINAGE OCCURS.
6. FINAL PLANT SPECIES, QUANTITIES, SIZES AND LOCATIONS WILL BE DETERMINED AT THE TIME OF PLAN APPROVAL AND MAY DIFFER FROM THIS PLAN.

CONCEPTUAL PLANT LEGEND

SYM.	BOTANICAL NAME	COMMON NAME
TREES		
	ACACIA SALICINA	WILLOW ACACIA
	DALBERGIA SISOOD	SISSOO TREE
	PINUS HALEPENSIS	ALEPPO PINE
	PROSOPIS CHILENSIS	THORNLESS MESQUITE
SHRUBS		
	CAESALPINIA PULCHERRIMA	RED BIRD OF PARADISE
	CALLIANDRA CALIFORNICA	BAJA FAIRY DUSTER
	CASSIA ARTEMISIOIDES	SILVERY CASSIA
	CASSIA NEMOPHILA	GREEN CASSIA
	DASYLIRION WHEELERI	DESERT SPOON
	HESPERALOE PARVIFLORA	RED YUCCA
	LEUCOPHYLLUM FRUTESCENS	'GREEN CLOUD' TEXAS SAGE
	'GREEN CLOUD'	
	LEUCOPHYLLUM LANGMANIAE	'RIO BRAVO' SAGE
GROUNDCOVERS		
	BACCHARIS CENTENNIAL	CENTENNIAL HYBRID BROOM
	BAILEYA MULTIRADIATA	DESERT MARIGOLD
	PENSTEMON PARRYI	PARRY'S PENSTEMON
	VERBENA GOODINGII	GOODING'S VERBENA
DECOMPOSED GRANITE		
	TURF	

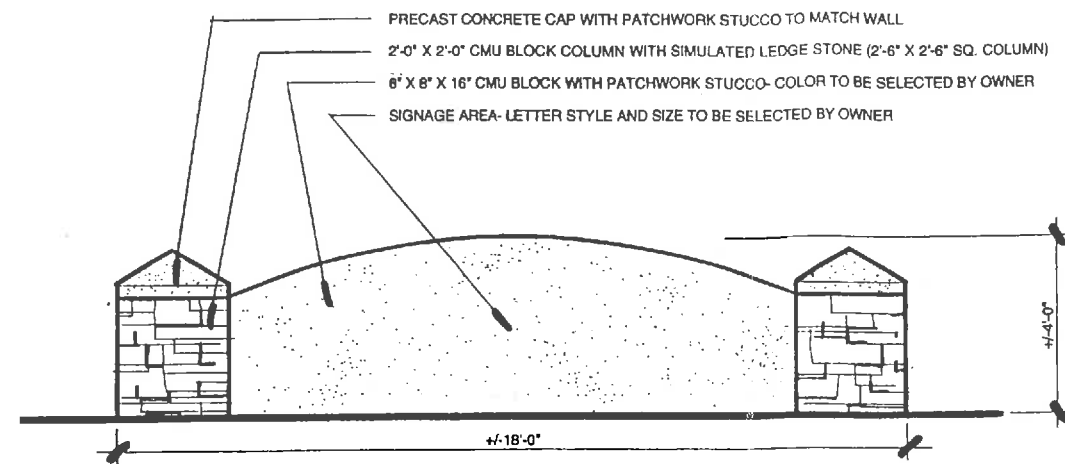


VICINITY MAP



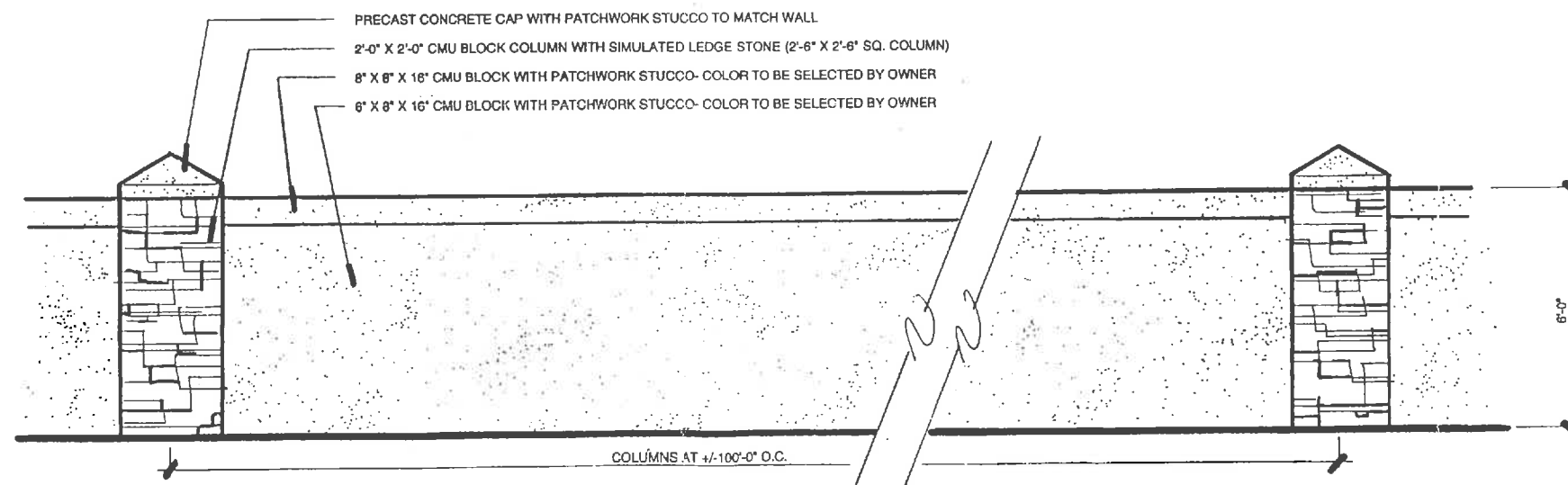
CONCEPTUAL LANDSCAPE PLAN DESERT MIRAGE ESTATES

PREPARED FOR: DITZ-CRANE HOMES



SIGNAGE MONUMENTATION

1/2"=1'-0"



THEME WALL

1/2"=1'-0"

CONCEPTUAL THEME WALL ELEVATION DESERT MIRAGE ESTATES

PREPARED FOR: DITZ-CRANE HOMES

DESERT MIRAGE ESTATES

**APPROVED PLAN
COMMUNITY DEVELOPMENT
CITY OF GLENDALE**
*See approved City Council
Stipulations of 9.8.98
DD*

3.0 DEVELOPMENT STANDARDS

3.1 GROSS AREA; NUMBER OF DWELLING UNITS; GROSS DENSITY STREET RIGHT-OF-WAY; AND OPEN SPACE

TOTAL ACREAGE FOOTAGE OF SUBDIVISION	NUMBER OF DWELLING UNITS	GROSS DENSITY PER ACRE	TOTAL ACREAGE OF SUBDIVISION STREET RIGHT-OF-WAY	TOTAL ACREAGE OF OPEN SPACE
36.2	103	2.85	6.92	2.6

3.2 R1-8 PRD DEVELOPMENT STANDARDS

	DISTRICT STANDARDS	PROPOSED STANDARDS
Minimum Net Lot Area	8,000 square feet	8,000 square feet
Minimum Lot Width	80 feet	70 feet **
Minimum Lot Depth	100 feet	109 feet
Minimum Front Setback	15 feet to living area; 20 feet to garages or carport	15 feet to living area; 20 feet to garages or carport
Minimum Rear Setback	20 feet	20 feet
Minimum Rear Setback [Southern Property Line]	20 feet	40 feet
Minimum Side Setback	5 & 10 feet	5 & 10 feet
Minimum Distance Between Buildings On Adjacent Lots	15 feet	15 feet
Minimum Street Sideyard Setback	10 feet	10 feet
Maximum Structure Height	30 feet	30 feet
Maximum % Lot Coverage	40%	45%

*** LOTS 37-41 shall be limited to single story.**
** Lot width is measured at the 20 foot front setback

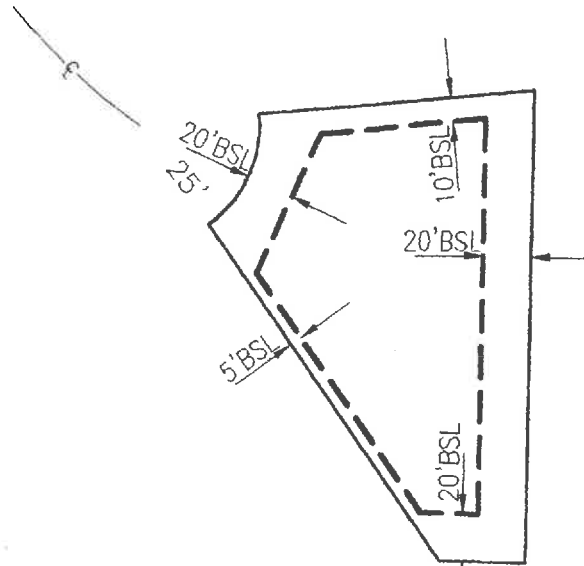
3.3 ZONING ORDINANCE PROVISIONS

Unless specifically amended above, all provisions of the City of Glendale Zoning Ordinance, shall apply to the Desert Mirage Estates subdivision.

*See approved
stipulations. DD*

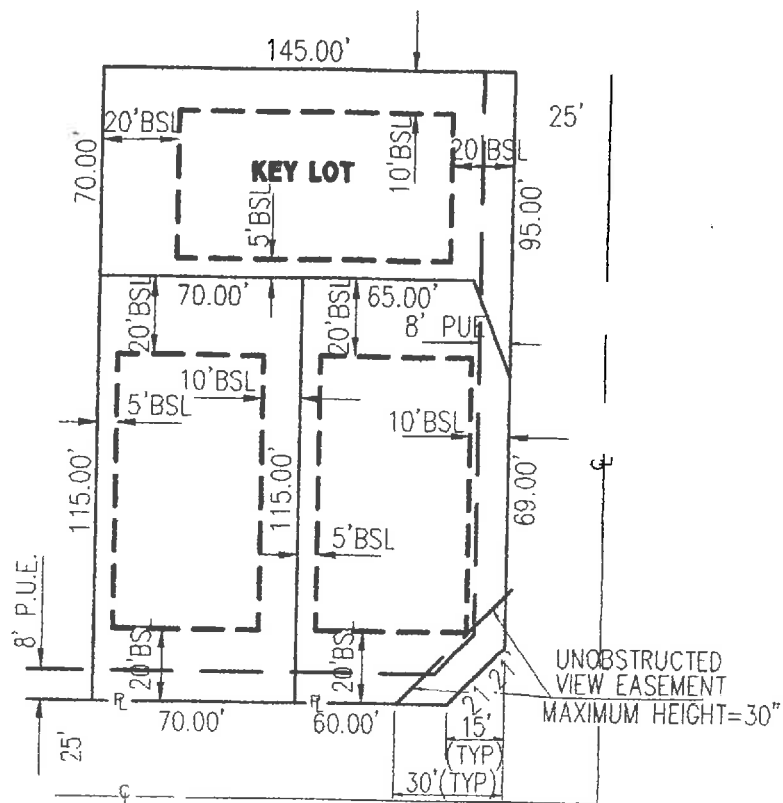
DESERT MIRAGE ESTATES

3.4 TYPICAL PLOT PLAN



TYPICAL CUL-DE-SAC LOT

NOT TO SCALE



TYPICAL LOT LAYOUT

NOT TO SCALE

DESERT MIRAGE ESTATES

4.0 HOUSE PRODUCT DESIGN CRITERIA

4.1 ARCHITECTURAL STYLE

The single family homes in Desert Mirage Estates will have a southwestern design.

4.2 SQUARE FOOTAGE OF HOMES

Ditz-Crane Homes will offer nine (9) homes to be built in Desert Mirage Estates. The models offered consist of five (5) single story homes and four (4) two story homes. The square footage of the homes range from a minimum of 1,722 square feet to 3,980 square feet.

4.3 ELEVATIONS AND COVERED PATIOS

Three (3) distinct elevations will be provided for each of the nine (9) homes to be built in this subdivision. Based on the elevation and design of the homes, eight of the nine models will have a standard covered patio with options for additional patios.

4.4 EXTERIOR HOUSE MATERIALS

The exterior of the homes will be textured stucco finish over wood framing. The homes will have a 4 inch overhang with stucco fascia. The columns of the standard and optional covered patios will be stuccoed.

4.5 ROOFING

The homes will have a concrete tile roof.

4.6 GARAGES

All nine models offered in the development will have a three (3) car garage. The homes will have as a standard feature a steel panel garage door.

4.7 FENCING

The perimeter of each home will have a concrete block fence that will be a minimum six (6) feet in height. The return walls built for any homes in this development will have a "Desert Brown" color and will have 20% to 25% decorative block accent.

4.8 SUBDIVISION COLOR COMBINATIONS

The single family homes in Desert Mirage Estates will have earthtone exterior colors.

The fascia and exterior will be painted in different earth tone colors. There will be eight (8) different color schemes for the homes in this subdivision (i.e., six exterior colors in combination with five different fascia colors).

Four (4) different roof tile colors will be offered.

The perimeter fences of each home, and all return walls, will have a "Desert Brown" color.

DESERT MIRAGE ESTATES

PROPOSED HOUSE PRODUCT COLOR PALETTE

SCHEME	ROOF TILE	BODY COLOR	TRIM COLOR	FRONT DOOR COLOR
1	14865	Bishop Brown	Pencil Wood	Ominous Sea
2	14865	Wolfhound	Gypsy Moth	Ominous Sea
3	14230	Potato Skin	Bishop Brown	Gray Shell
4	14230	Pelican	Gypsy Moth	Gray Shell
5	14034	Distant Hills	Potato Skin	Scale Blue
6	14034	Quail	Pelican	Scale Blue
7	14080	Bishop Brown	Pencil Wood	Ominous Sea
8	14080	Wolfhound	Gypsy Moth	Ominous Sea

INTERIOR COLOR: INTIMATE WHITE

ALL BODY, TRIM AND POP-OUT COLORS COME IN PRODUCT #5051 ACRYLIC PAINT.
FRONT DOOR COLORS COME IN PRODUCT #7801 ACRYLIC SEMI-GLOSS ENAMEL.
INTERIOR COLOR COMES IN #2601 FLAT LATEX.

DESERT MIRAGE ESTATES

4.8 SOUTHERN LOTS - HOME AVAILABILITY

Ditz-Crane Homes has worked closely with the homeowners to the south of Desert Mirage Estates in designing eleven larger lots along the southern perimeter of this development. These 11 lots, with an average square footage of 20,839 square feet, have also been planned with a 40 foot rear building setback line. These lot size and setback stipulations exceed the standard requirements of R1-8 PRD zoning, but provide a physical separation between the existing and proposed homes that addresses the concerns of the adjacent homeowners. Based on the location of the 40 foot building setback for these 11 lots, the lots were reviewed to see if there were any restrictions on which of the nine proposed models would fit on these lots. The following table is a breakdown of the model home availability for the 11 southern lots of Desert Mirage Estates.

Subdivision Lot Number	Proposed Model Homes Available To Be Built On Southern Lots
59	All 9 Models; Covered Patio Oriented To Northeast Corner Of Home
63	Models 1722.3 and 3087.3 Covered Patio Oriented To Southwest Corner Of Home
64	All 9 Models; Covered Patio Oriented To Northeast Corner Of Home
72	All 9 Models; Covered Patio May Be Unavailable On Models 1722.3 and 2697.3
73	All 9 Models
83	All 9 Models
84	All 9 Models; Covered Patio May Be Unavailable On Models 1722.3 and 2697.3
96	All 9 Models
97	All 9 Models; Covered Patio Oriented To Northeast Corner Of Home
102	All 9 Models
103	All 9 Models

The Cholla

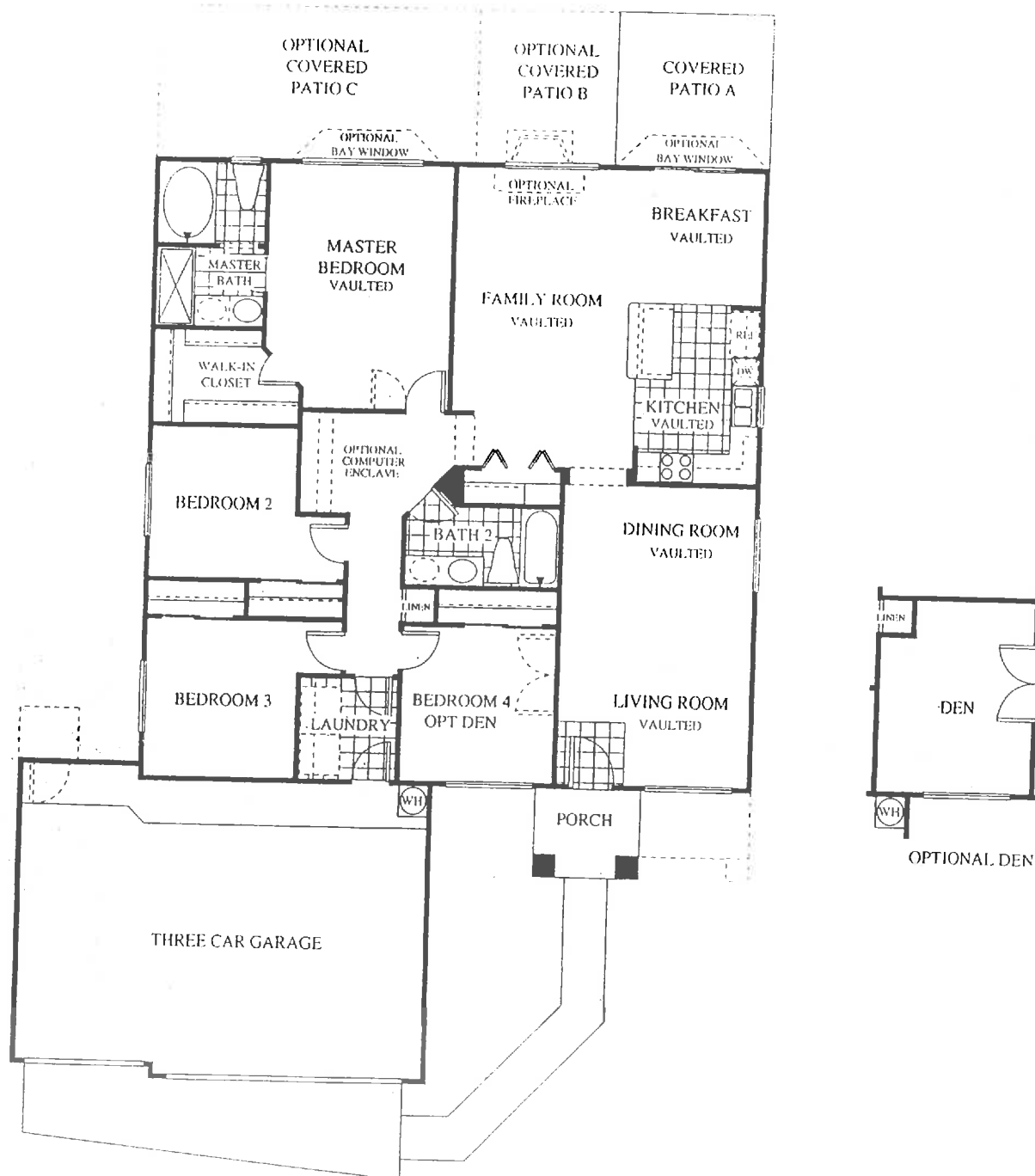
Model 1722.3

DITZ-CRANE

HOMES

Quality Since 1954

4 BEDROOMS, OR WITH DEN OPTION,
2 BATHS, 2 CAR GARAGE, 1678 SQ.FT.



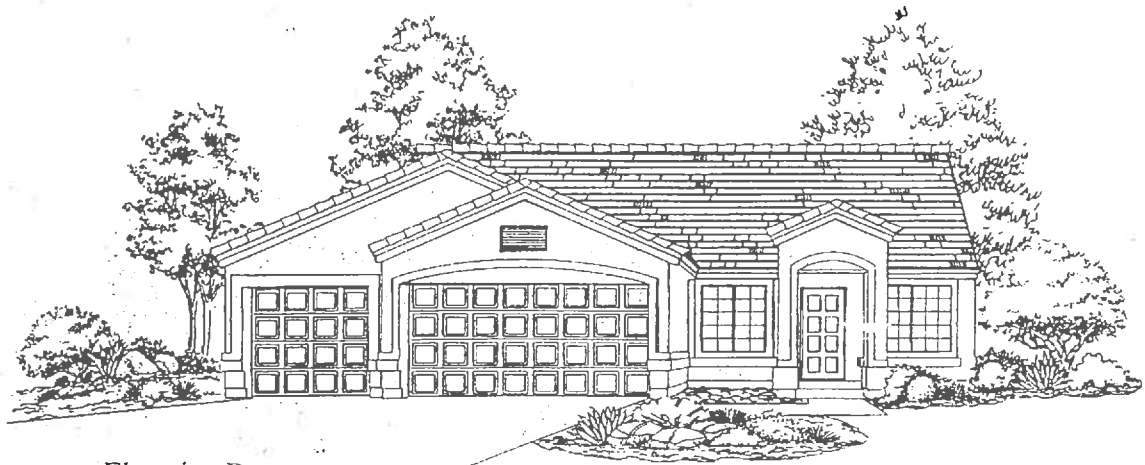
These renderings are artist conceptions, actual homes may have minor differences from these drawings and are subject to change without notice. All square footages given are approximate.

The Cholla

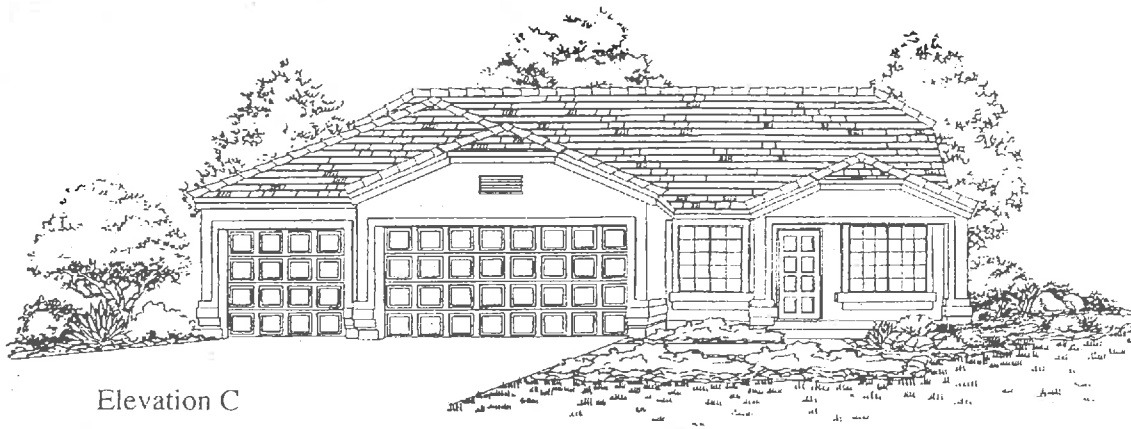
Model 1722

DITZ-CRANE HOMES

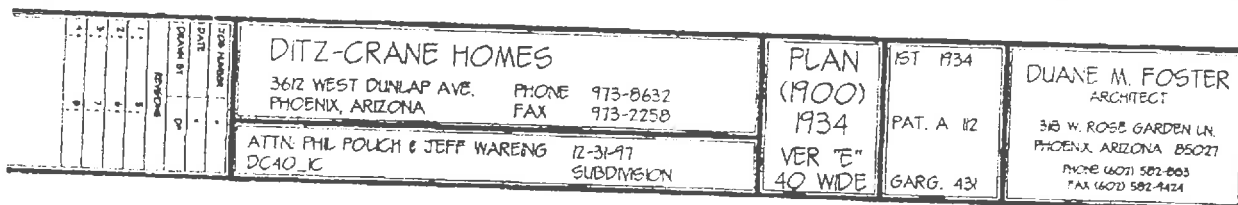
Quality Since 1954



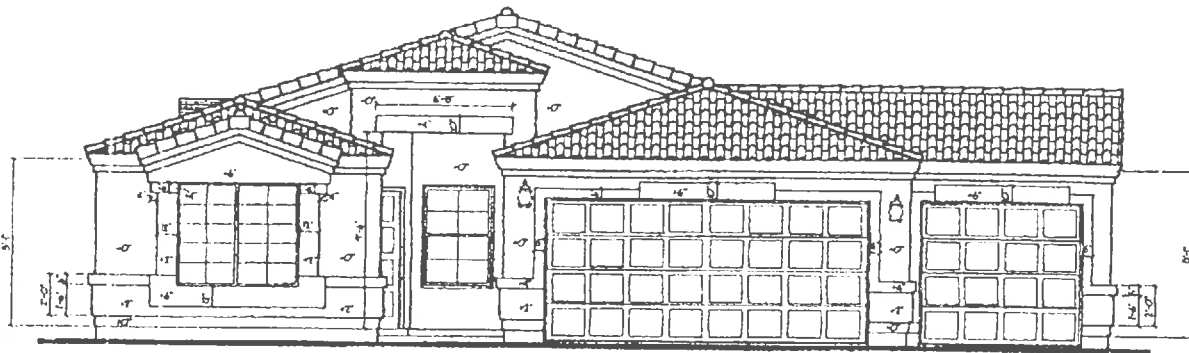
Elevation B



Elevation C

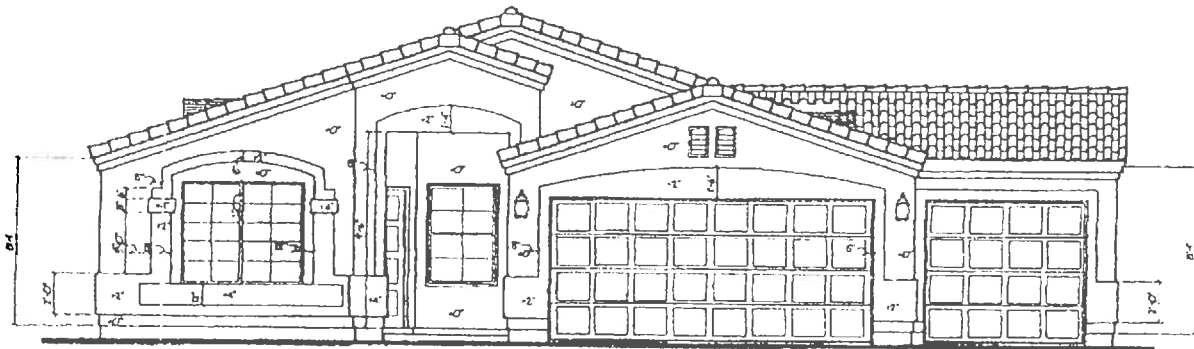


313 W. ROSE GARDEN LN.
PHOENIX ARIZONA 85027
PHONE (602) 582-883
FAX (602) 582-4434



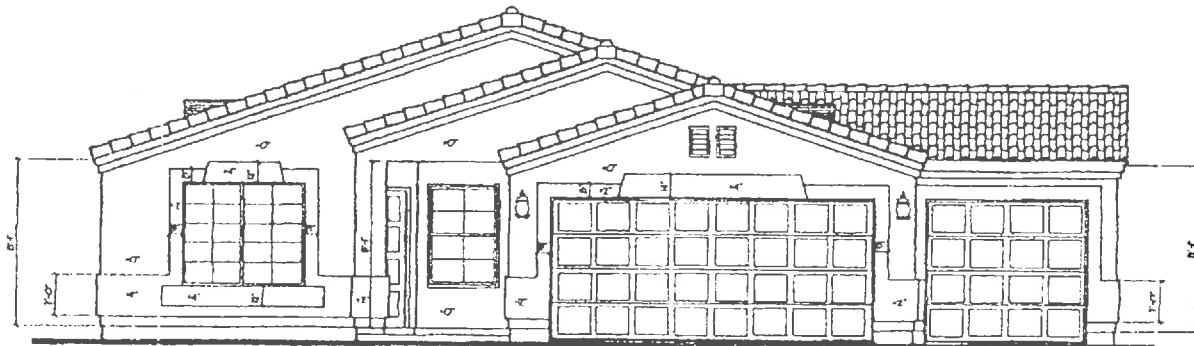
ELEVATION "C"

SCALE 1/4" = 1'-0"



ELEVATION "B"

SCALE 1/4" = 1'-0"



ELEVATION "A"

SCALE 1/4" = 1'-0"

<p>11 10 9 8 7 6 5 4 3 2 1</p>	<p>DITZ-CRANE HOMES 3612 WEST DUNLAP AVE. PHONE 973-8632 PHOENIX, ARIZONA FAX 973-2258</p> <p>ATTN: PHIL POUCH & JEFF WAREING 12-10-97 SUBDIVISION</p>	<p>PLAN (1900) 1900 VER "C" 40 WIDE</p>	<p>1ST 189951 PAT. A 54 GARG. 433</p>	<p>DUANE M. FOSTER ARCHITECT 313 W ROSE GARDEN LN. PHOENIX, ARIZONA 85027 PHONE 602 582-000 FAX 602 582-1124</p>
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Handwritten signature/initials

The Ocotillo

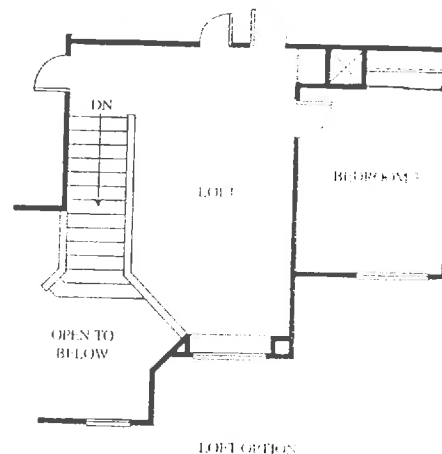
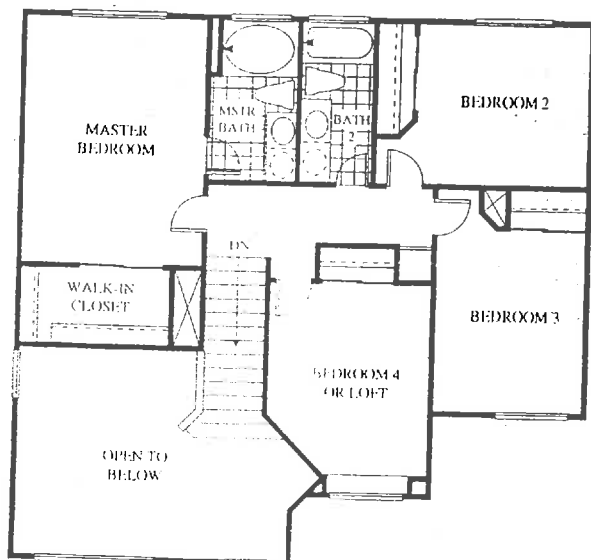
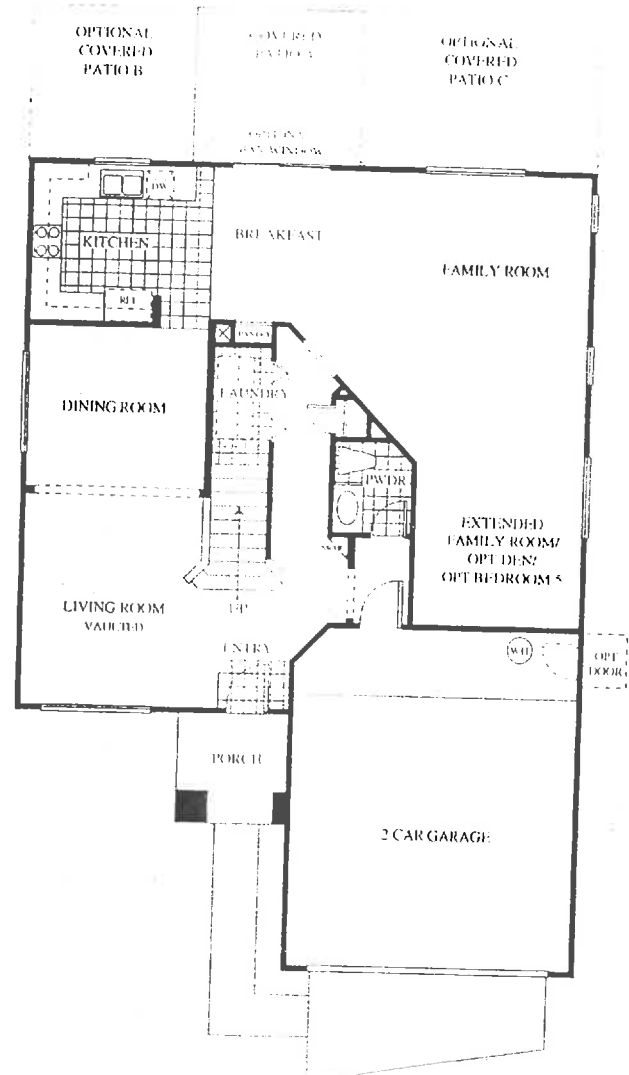
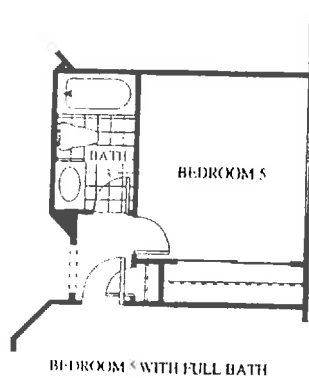
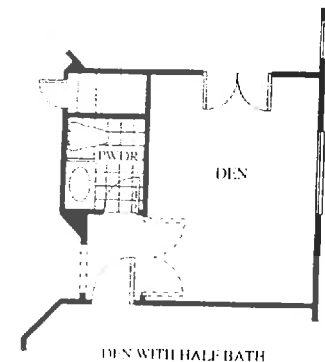
Model 2187.3

DITZ-CRANE

HOMES

Quality Since 1954

4 BEDROOMS, OR WITH A VARIETY OF OPTIONS,
DEN, 5 BEDROOMS, 2 1/2 TO 3 BATHS,
2 CAR GARAGE, 2187 SQ.FT.



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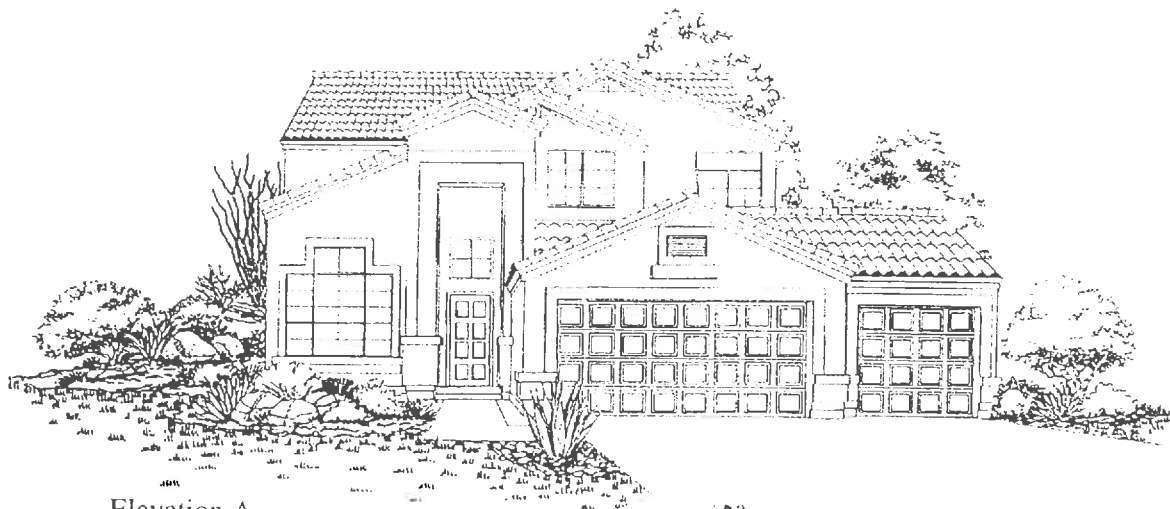
The Ocotillo

Model 2187

DITZ-CRANE

HOMES

Quality Since 1954



Elevation A



Elevation B



Elevation C

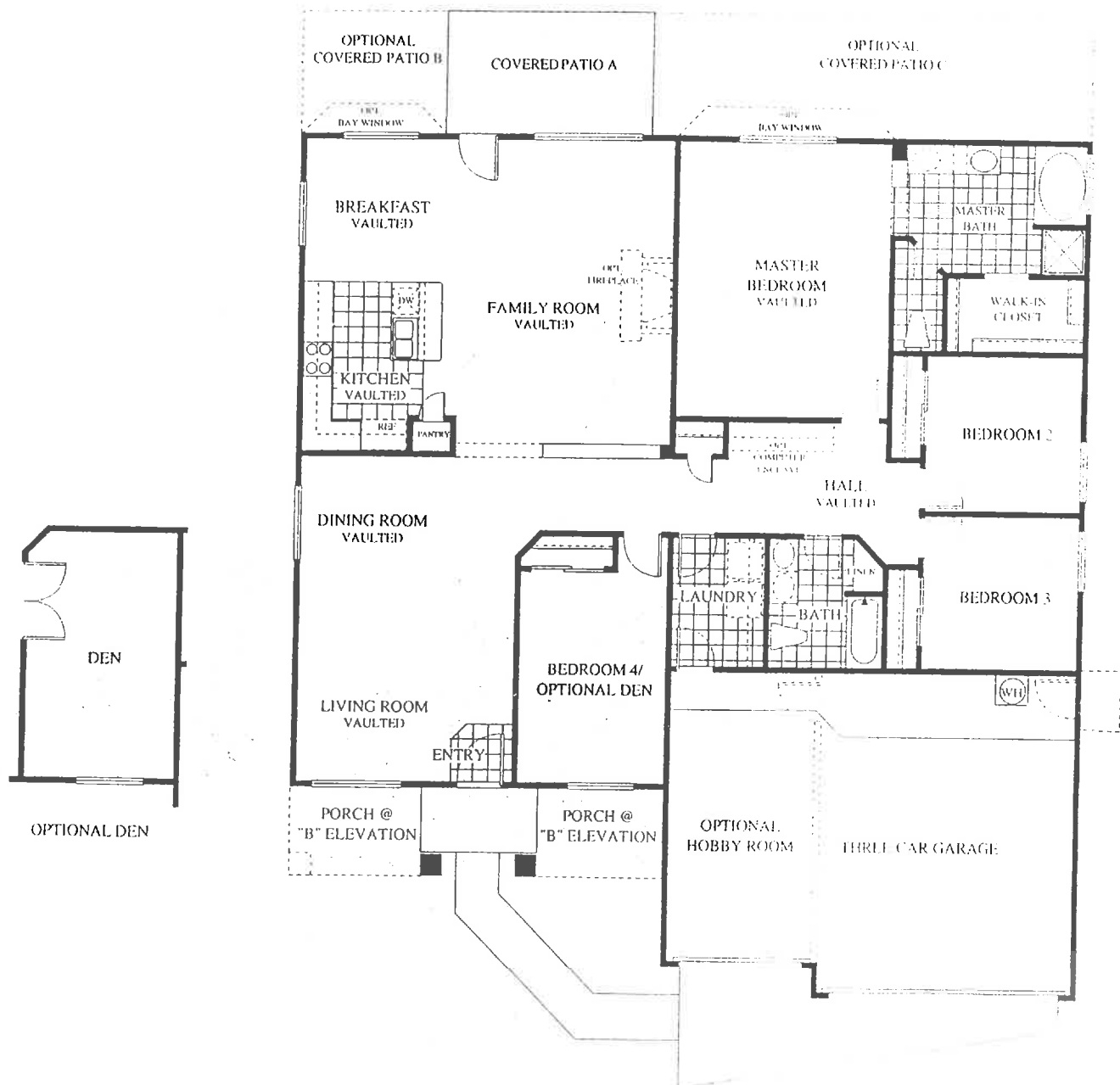
The Sage

Model 2191.3

DITZ-CRANE

HOMES

Quality Since 1954



These renderings are artist conceptions, actual homes may have minor differences from these drawings and are subject to change without notice. All square footages given are approximate

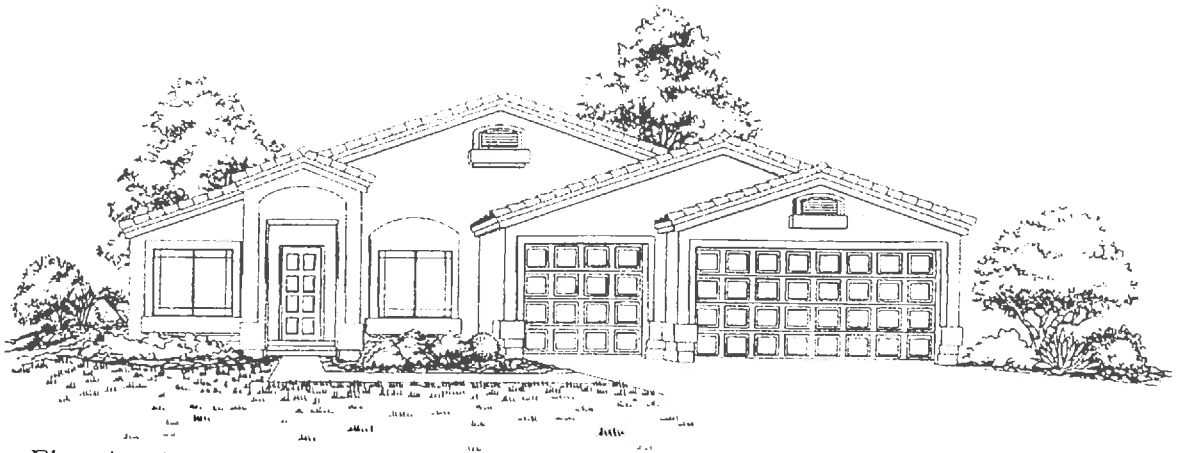
The Sage

Model 2191

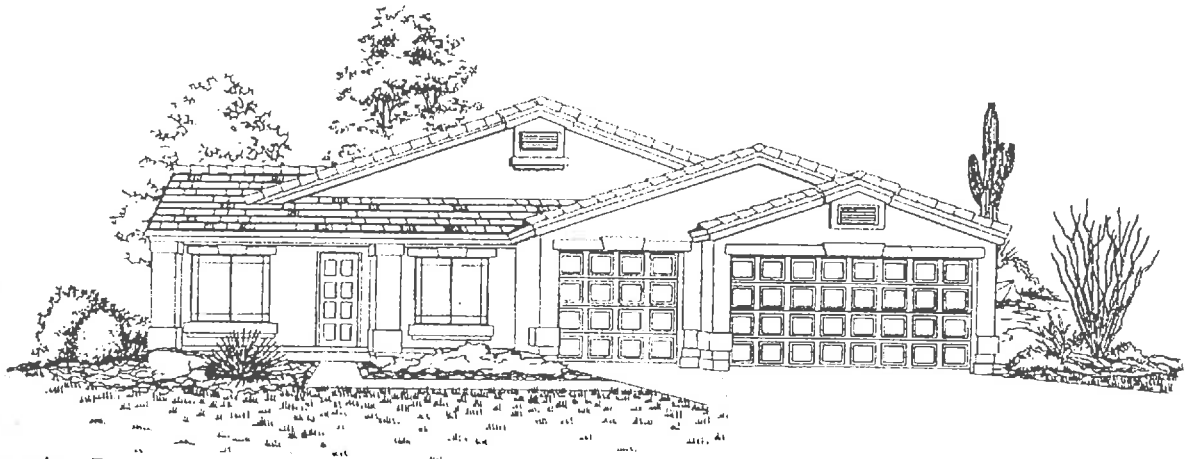
DITZ-CRANE

HOMES

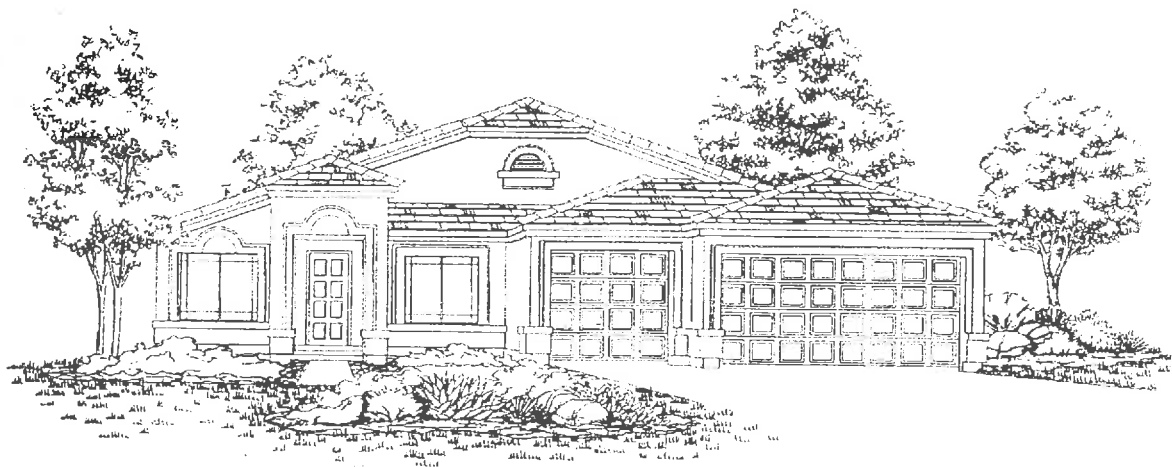
Quality Since 1954



Elevation A



Elevation B



Elevation C

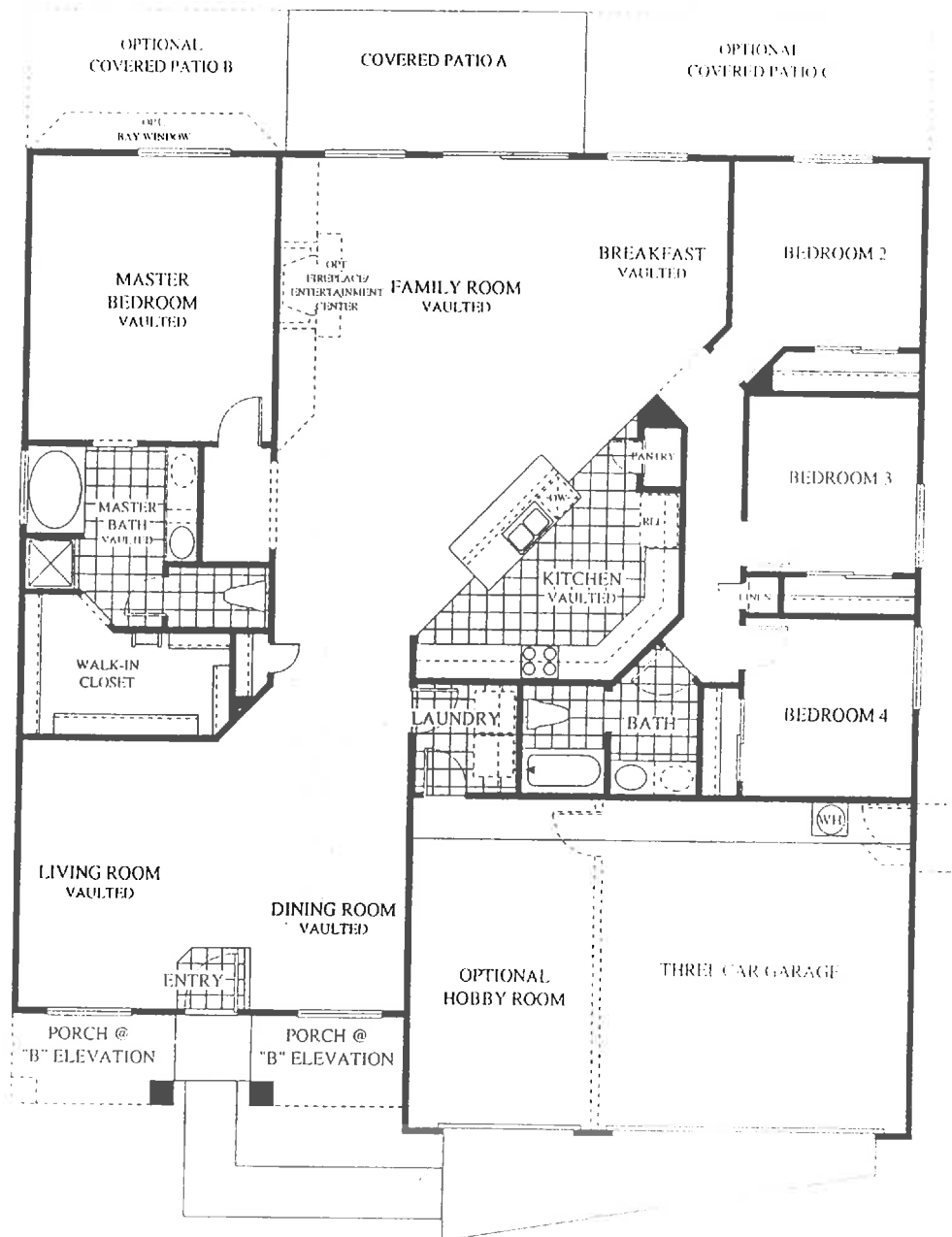
The Jacaranda

Model 2406.3

DITZ-CRANE

HOMES

Quality Since 1954



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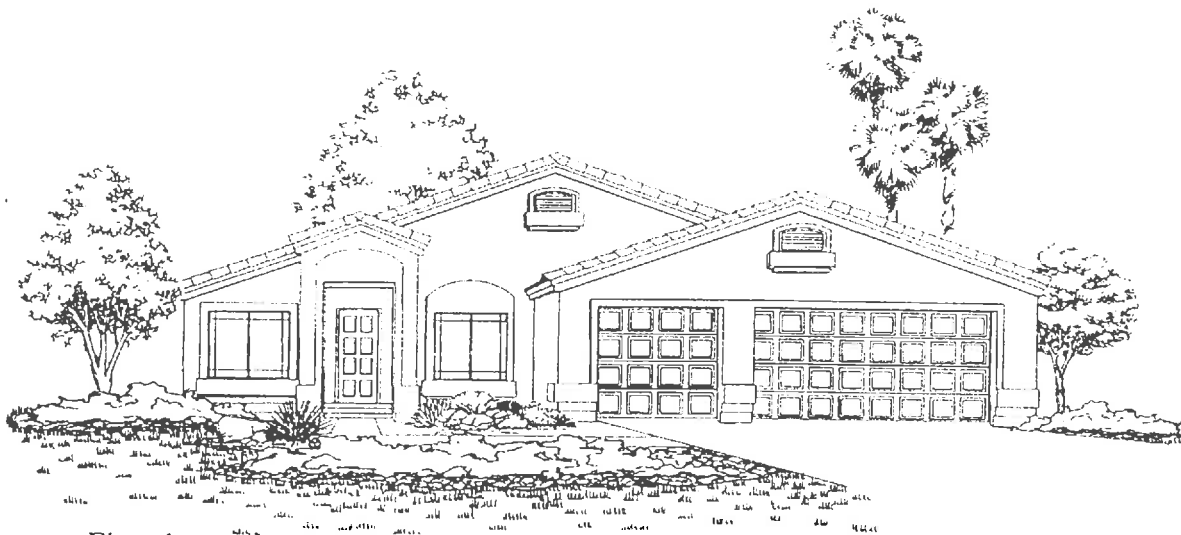
The Jacaranda

Model 2406

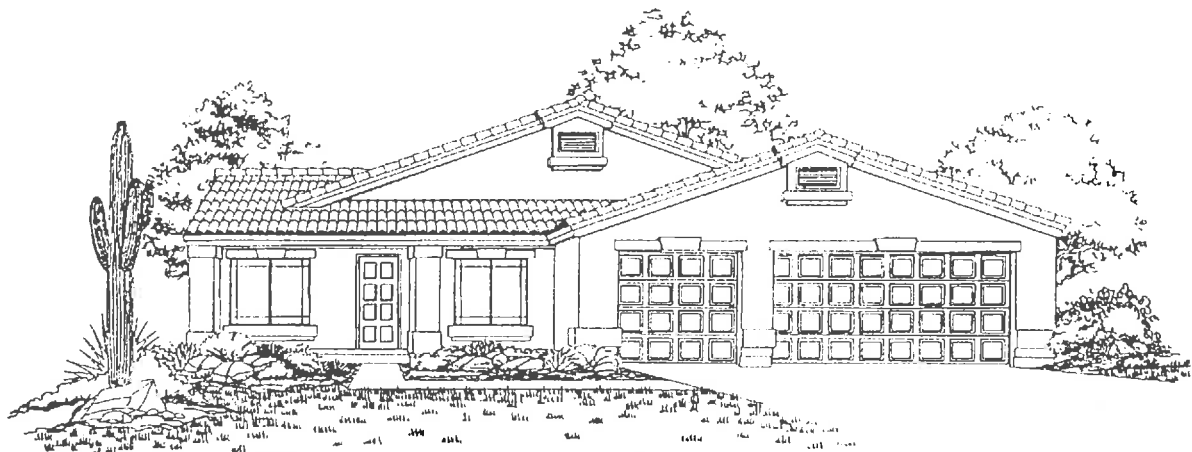
DITZ-CRANE

HOMES

Quality Since 1954



Elevation A



Elevation B



Elevation C

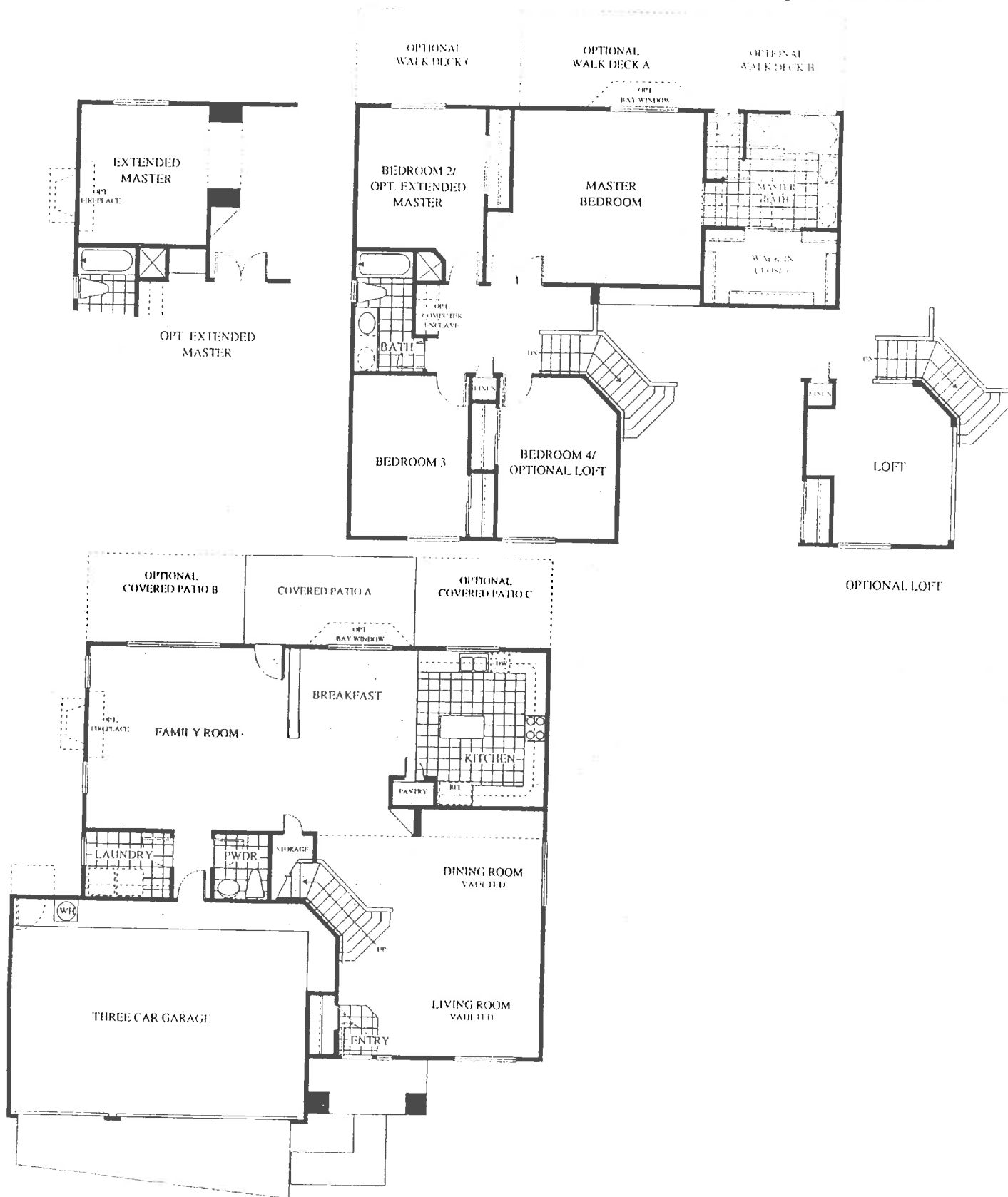
The Lantana

Model 2575.3

DITZ-CRANE

HOMES

Quality Since 1954



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The Lantana

Model 2575

DITZ-CRANE

HOMES

Quality Since 1954



Elevation A



Elevation B



Elevation C

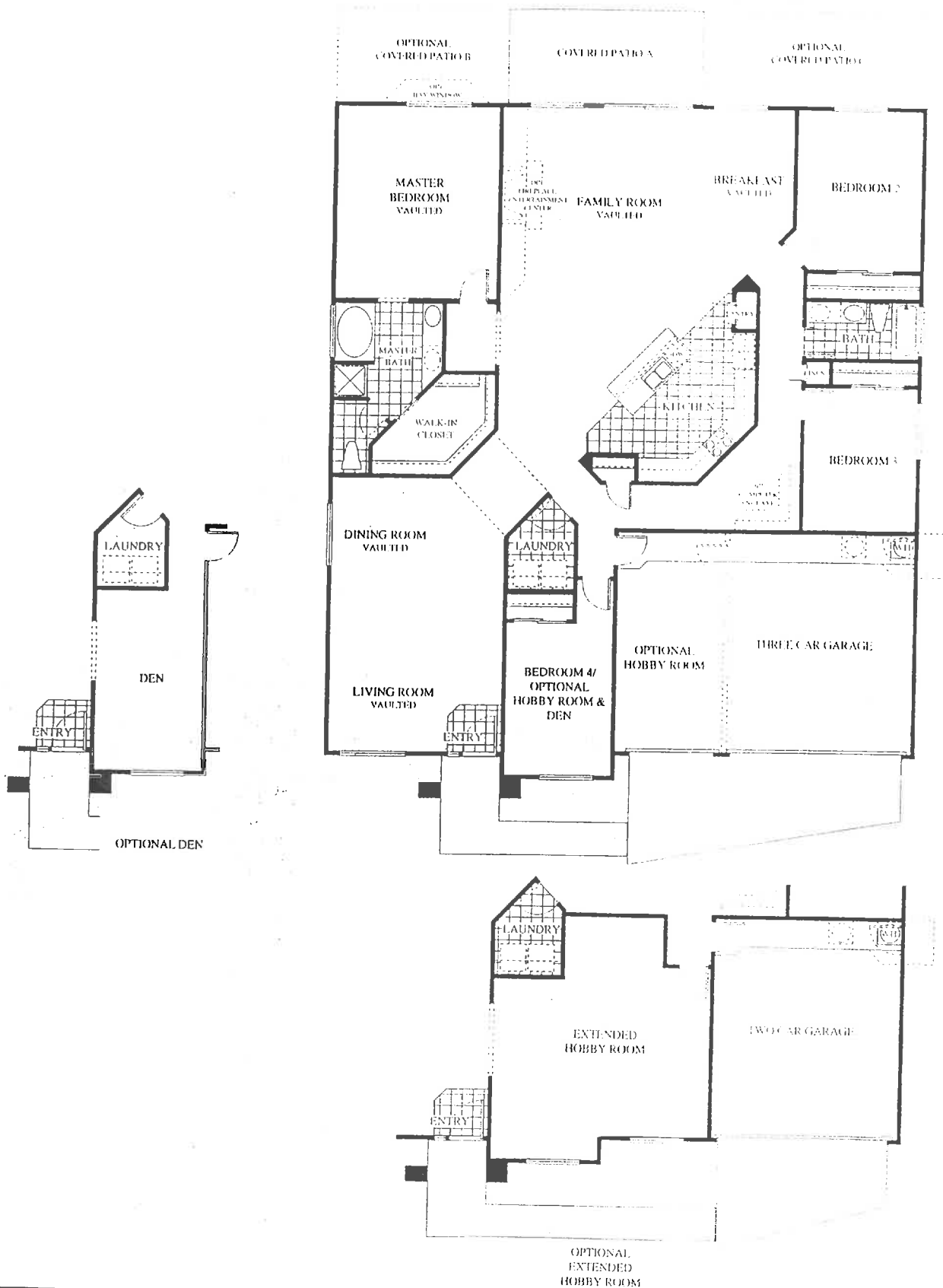
The Desert Willow

Model 2697.3

DITZ-CRANE

HOMES

Quality Since 1954



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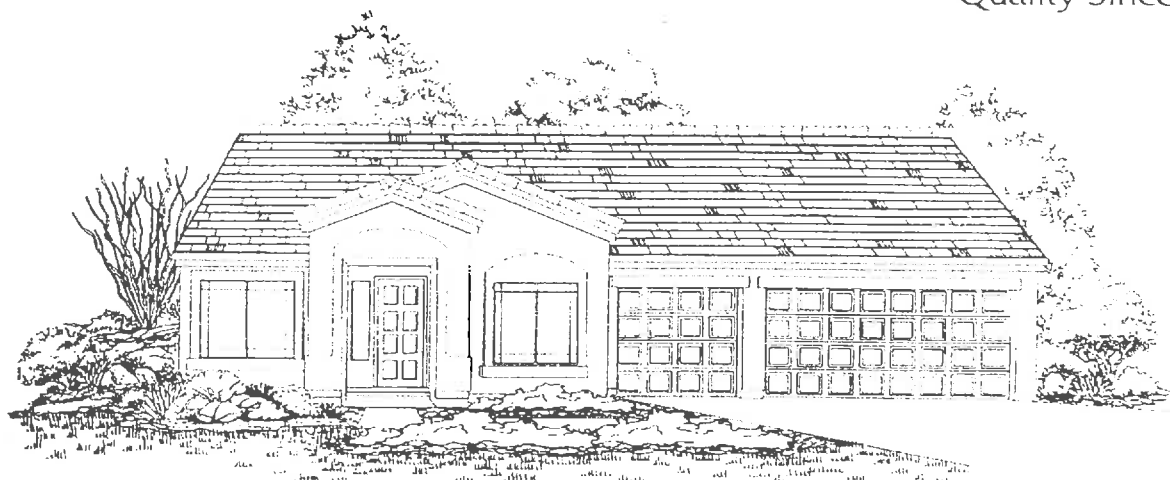
The Desert Willow

Model 2697

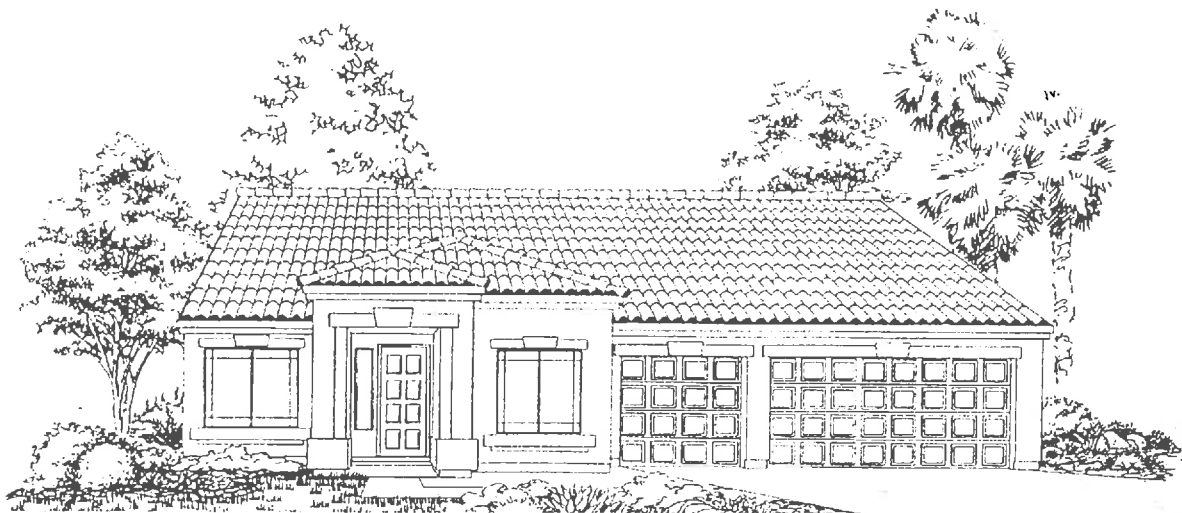
DITZ-CRANE

HOMES

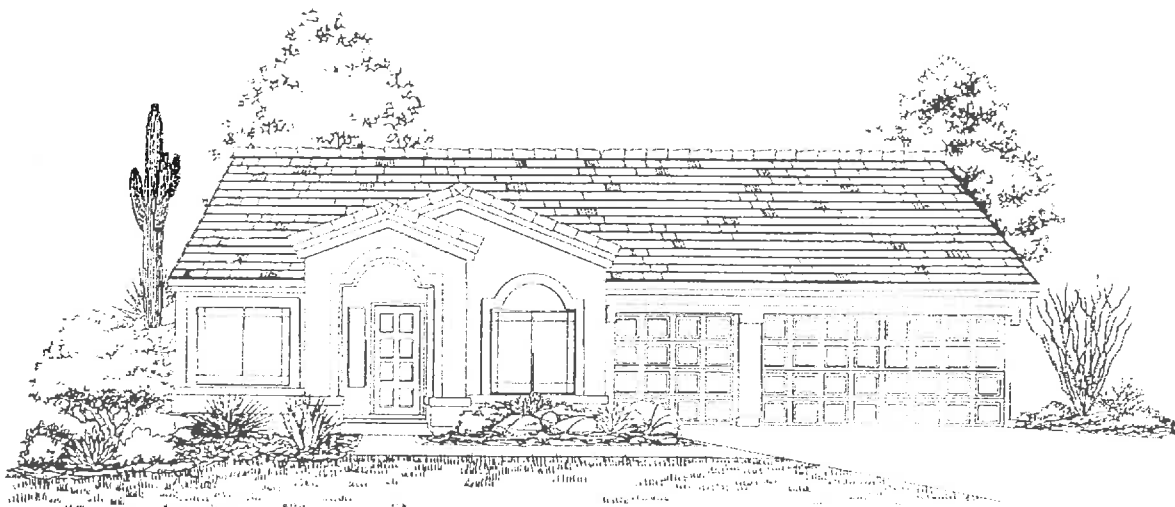
Quality Since 1954



Elevation A



Elevation B



Elevation C

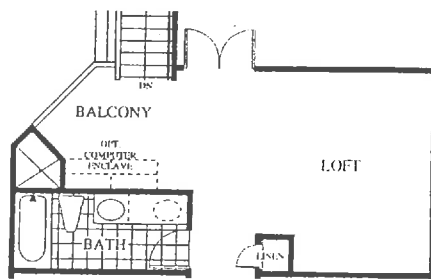
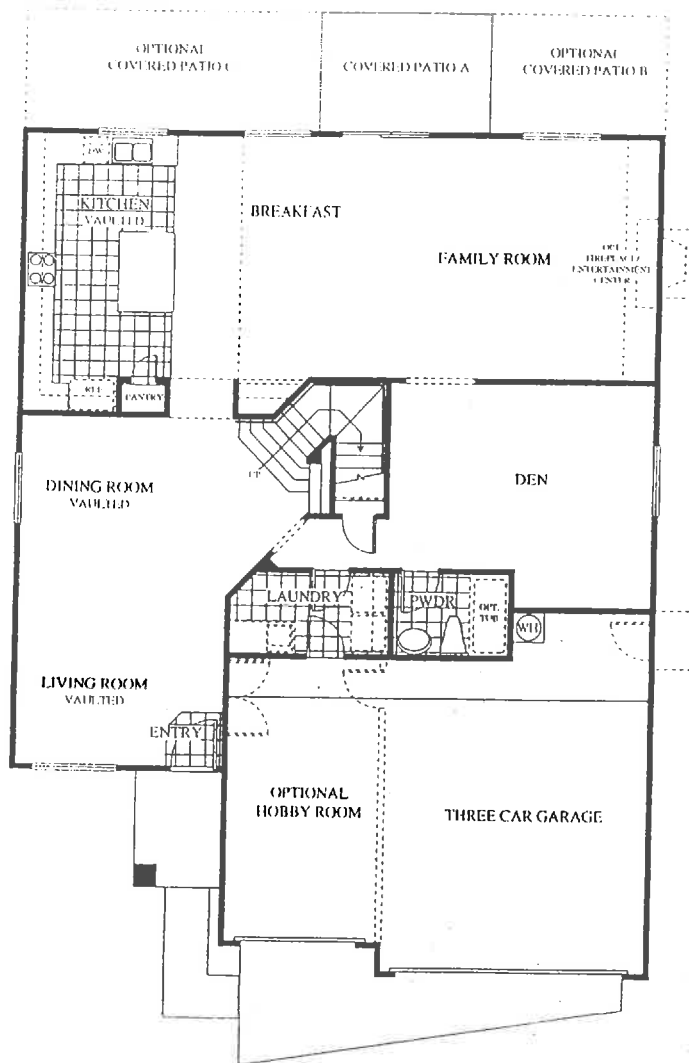
The Acacia

Model 3087.3

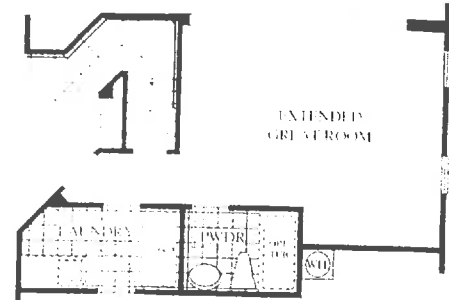
DITZ-CRANE

HOMES

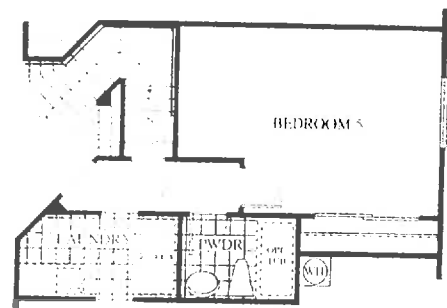
Quality Since 1954



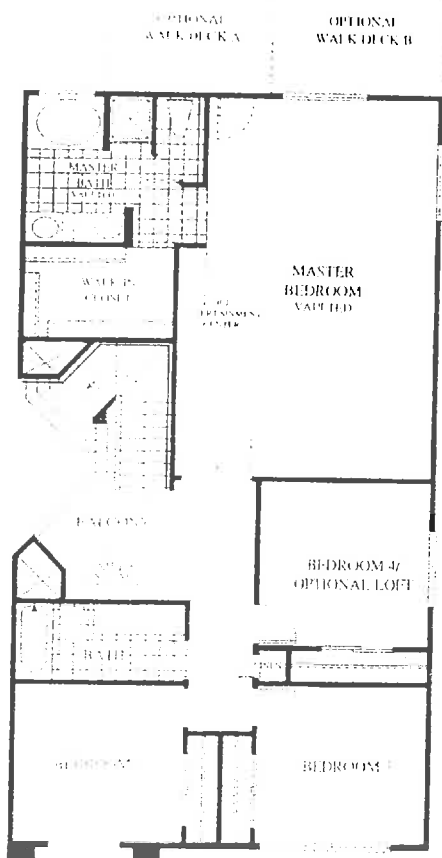
OPTIONAL LOFT



OPTIONAL EXTENDED GREAT ROOM



OPTIONAL BEDROOM 5



These renderings are artist conceptions, actual homes may have minor differences from these drawings and are subject to change without notice. All square footages given are approximate.

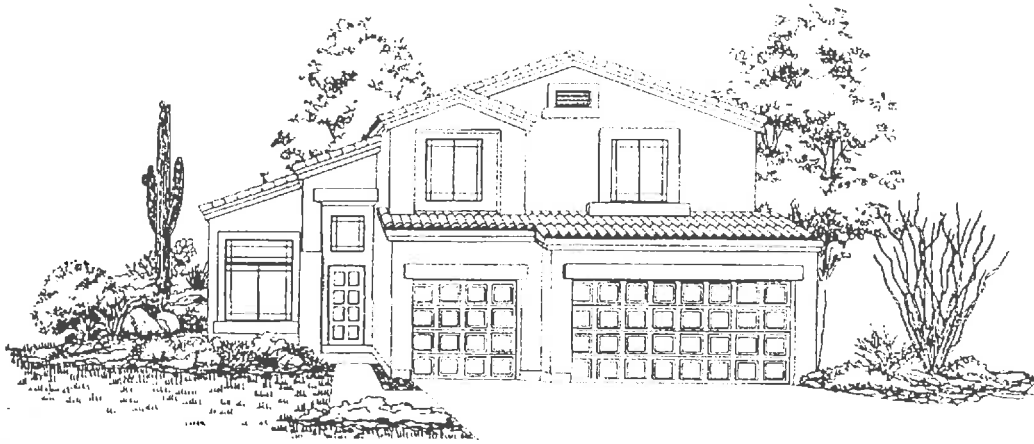
The Acacia

Model 3087

DITZ-CRANE

HOMES

Quality Since 1954



Elevation A



Elevation B



Elevation C

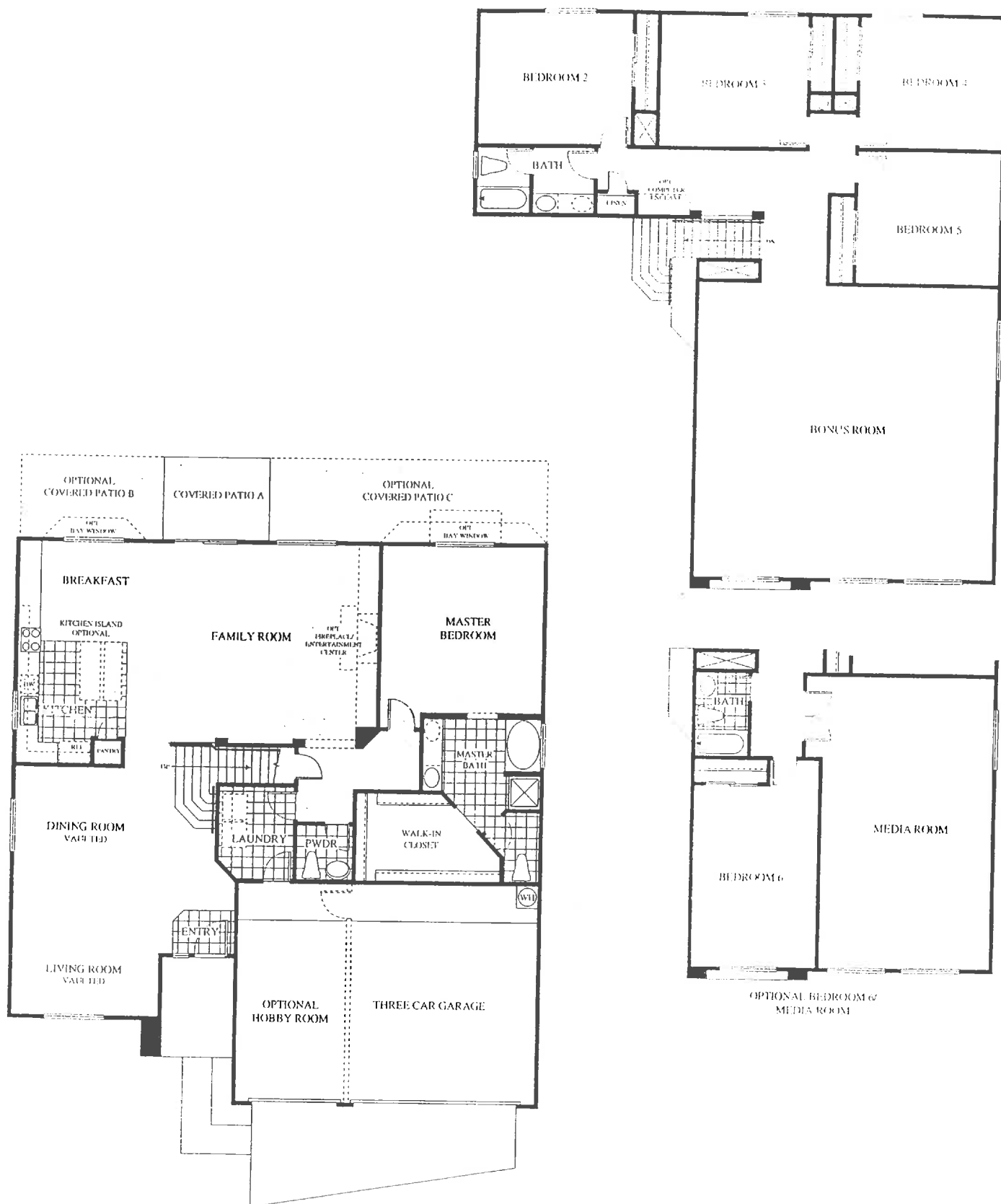
The Joshua Tree

Model 3980.3

DITZ-CRANE

HOMES

Quality Since 1954



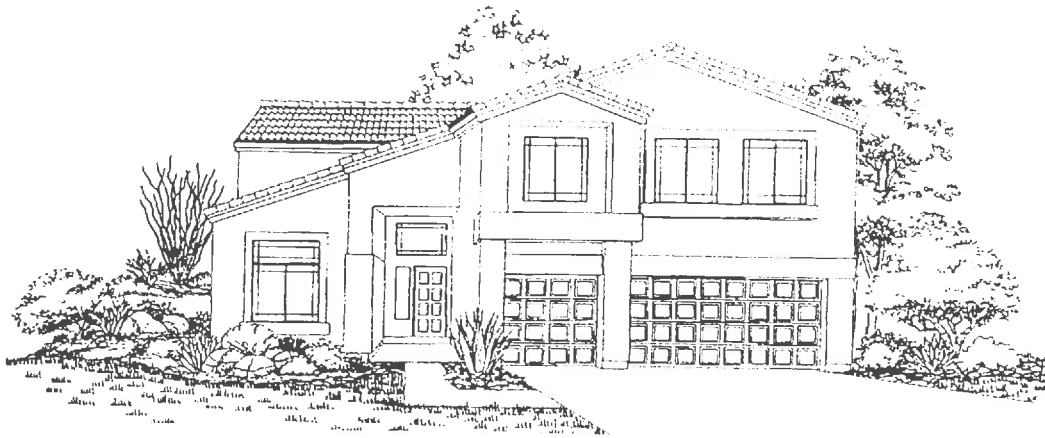
These renderings are artist conceptions, actual homes may have minor differences from these drawings and are subject to change without notice. All square footages given are approximate.

The Joshua Tree

Model 3980

DITZ-CRANE HOMES

Quality Since 1954



Elevation A



Elevation B



Elevation C



September 9, 1998

Mr. Gary Claybough
Landmark Engineering Inc.
13430 N. Scottsdale Road, Suite 202
Scottsdale, AZ 85254

Subject: City Council Approval of Z-98-11 and P-98-06

Dear Mr. Claybough:

At the regularly scheduled meeting of September 8, 1998, the Glendale City Council approved the R1-8 PRD development plan and the preliminary plat for "Desert Mirage Estates" located at 6302 N. 83rd Avenue. The City Council approval of the R1-8 PRD development plan was subject to the following stipulations:

1. Development shall be in substantial conformance with the PRD Plan and Narrative for "Desert Mirage Estates", dated July 6, 1998.
2. The R1-8 development standards shall be amended as shown in the PRD narrative and plan for "Desert Mirages Estates", dated July 6, 1998.
3. A maximum of 103 lots shall be permitted.
4. The property owner shall dedicate 60 feet of half-street right-of-way on 83rd Avenue within 180 days of zoning approval.
5. All half-street improvements for the 390 feet of street frontage on 83rd Avenue adjacent to the site shall be completed with development of this property. Required improvement standards are determined by the City of Glendale Design Guidelines for Site Development and Infrastructure Construction.
6. The developer shall enter into a development agreement with the City of Glendale to ensure that street improvements on 83rd Avenue from the Parkside project to the north to Cavalier Drive south of this property are extended at the time of development.
7. The south perimeter wall along the retention basin shall have a minimum height of 8 feet.
8. Houses on all lots adjacent to the west perimeter of the site shall be limited to a single story.

The City Council approval of preliminary plat application P-98-06 is subject to the following stipulations:

1. City Council approval of PRD development plan application Z-98-11. The fifteen day preliminary plat appeal period specified by Section 31-151 of the Subdivision and Minor Land Division Ordinance shall begin on the date the City Council approves Z-98-11.
2. Subdivision infrastructure improvement plans, landscape, perimeter wall, entry signage, and grading and drainage plans shall be reviewed and approved by staff prior to final plat approval by the City Council.
3. The final plat shall identify the four raised landscape planters and the traffic circle as tracts to be maintained by the homeowners association.

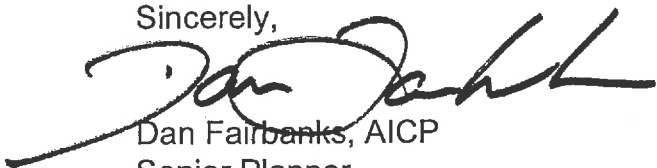
At a future date, you and your consultants may submit improvement plans for the subdivision, including water, sewer, paving, grading and drainage plans, landscape and perimeter wall design plans, and street lighting. Should you desire to submit improvement plans, sheet size is 24" x 36". Submittal of a soils report is also required prior to construction. All improvement plans must come in as one complete submittal package, not as individual submittals. Contact Mary Wetenkamp, Development Services Center, at 930-2800 if you or your consultants have any questions regarding this submittal or information on plan review schedules and permit fees.

The submittal of the final plat application, \$500 final plat filing fee, final project CC&Rs, final plat lot matrix, and seven copies of the final plat should be included with your improvement plan submittal.

At a future date, house product plans should be submitted to the Development Services Center for review. Please contact John Gitzen, Development Services Representative, at 930-2800 if you have any questions regarding the house plan submittal process.

Please contact me at 930-2800 if I can provide more information or further assist you in this matter.

Sincerely,



Dan Fairbanks, AICP
Senior Planner
Planning Department

DF/kd

Enclosure: Final Plat Application
 Example Lot Matrix
 Model Home Guidelines

cc: Mary Wetenkamp, Senior Development Services Representative
 John Gitzen, Development Services Representative
 Phil Polich, Ditz-Crane Homes